

**GENOVA  
BURNS**  
ATTORNEYS-AT-LAW

Genova Burns LLC  
494 Broad Street, Newark, NJ 07102  
Tel: 973.533.0777 Fax: 973.533.1112  
Web: www.genovaburns.com

William F. Harrison, Esq.  
Partner  
Member of NJ Bar  
[wharrison@genovaburns.com](mailto:wharrison@genovaburns.com)  
Direct: 973-535-4430

February 22, 2018

**VIA UPS GROUND**

NJ Department of Environmental Protection  
Division of Land Use Regulation  
501 East State Street  
Station Plaza 5, 2nd Floor  
Trenton, New Jersey 08609

FEB 23 '18 AM 11:00  
LAND USE REGULATI

Attn.: Eric Virostek, Application Support

**Re: Application for CAFRA Individual Permit  
Application for Transition Area Waiver: Averaging Plan Transition Area  
Waiver**

**Property: Block 505 lots 14 and 15  
Township of Toms River  
Block 44, Lots 2, 3, 4, 5 and 9  
Block 75.01, Lot 3  
Township of Manchester**

**Applicant: Jaylin Holdings, LLC**

Dear Mr. Virostek

Applicant is submitting the above-referenced application for a Coastal Area Facility Review Act ("CAFRA") Individual Permit and a Transition Area Waiver, specifically an averaging plan transition area waiver, to construct one 111,186 square foot retail building, three 4,800 square foot restaurants and one 9,322 square foot retail building, and includes associated parking, circulation, utilities, stormwater management, landscaping and lighting associated with these uses. Five hundred and sixty-seven (567) parking spaces are proposed for the entire development. A stormwater management system that utilizes three above-ground basins has also been designed to accommodate this development.

Please accept the following as submission of the remaining application items, thereby completing the application in accordance with the submission requirements:

- *Land Use Application Form* executed by Applicant and Agent;
- *Land Use Application Form* executed by preparer of plans;



NJ Department of Environmental Protection  
February 22, 2018  
Page 2

- *One (1) check representing the required Application Fee; and*
- *Proof of Notices.*

Very truly yours,

**GENOVA BURNS LLC**

*William F. Harrison*  
WILLIAM F. HARRISON

WFH/KEB  
Enclosures





Ms. Alison Carlisle, Township Clerk  
Township of Toms River  
January 25, 2018  
Page 2

- *Stormwater Management Report* prepared by Bohler Engineering, dated November 2017;
- *Boundary & Wetland Location Survey*, prepared by Control Point Associates, Inc., dated August 6, 2015, last revised November 20, 2017;
- *ALTA/ASCM Land Title Survey*, prepared by Control Point Associates, Inc., dated April 21, 2004, last revised November 29, 2017;
- *Preliminary & Final Site Plan for Grunin Properties*, dated November 30, 2017; and,
- Compact Disc containing the contents of the previous submission, Permit No. 1500-04-001.1, APL080001, SWW090001.

A brief description of the proposed development follows:

The proposed development includes one (1) 111,186-SF retail building, three (3) 4,800-SF restaurants and one (1) 9,322-SF retail building. Also included is the associated parking, circulation, utilities, stormwater management, landscaping and lighting associated with these uses. Five hundred and sixty-seven (567) parking spaces are proposed for the entire development. A stormwater management system that utilizes three above-ground basins has been designed to accommodate the development.

The Department of Environmental Protection welcomes comments and any information that you may provide concerning the proposed development and site. Please submit your written comments within 15 calendar days of receiving this letter to:

New Jersey Department of Environmental Protection  
Division of Land Use Regulation  
P.O. Box 420 , Code 501-02A  
Trenton, New Jersey 08625  
Attn: Toms River Bureau Chief or  
Manchester Bureau Chief

Enclosed is a check for \$50.00 payable to the Township of Toms River for the CAFRA storage filing fee.



Ms. Alison Carlisle, Township Clerk  
Township of Toms River  
January 25, 2018  
Page 3

If you have any questions regarding this notice, please feel free to contact me.

Very truly yours,

GENOVA BURNS LLC

*William F. Harrison* cm  
WILLIAM F. HARRISON

WFH  
Enclosures





GENOVA BURNS LLC - ATTORNEY BUSINESS ACCOUNT

The Township of Toms River

58977

DATE	INVOICE NUMBER	MEMO	BALANCE
12/05/2017	12052017	CAFRA Storage Filing fee	50.00
CHECK DATE 12/05/2017			CHECK NUMBER 000058977
TOTAL			50.00

58977

GENOVA BURNS LLC  
ATTORNEY BUSINESS ACCOUNT  
494 BROAD STREET  
NEWARK, NEW JERSEY 07102

VALLEY NATIONAL BANK  
55-138/212

PAY: *Fifty and 00/100 Dollars*

NUMBER: 000058977      DATE: 12/05/2017      AMOUNT: \*\*\*\*\*50.00

TO THE ORDER OF: **The Township of Toms River**

*R. J. [Signature]*

SAFEGUARD SECURE SAFEGUARD SECURE

⑈058977⑈ ⑆021201383⑆ ⑈001001663⑈

1 OF 1

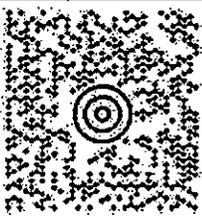
1 LBS

ROCHELLE WILSON  
973-533-0777  
GENOVA BURNS LLC  
494 BROAD STREET  
NEWARK NJ 07102

**SHIP TO:**

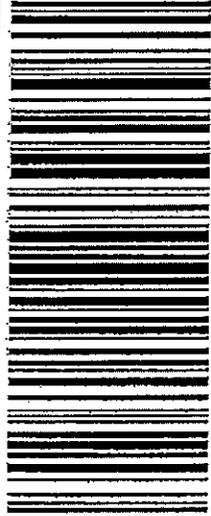
ALISON CARLISLE, TOWNSHIP CLERK  
555-555-5555  
TOWNSHIP OF TOMS RIVER  
33 WASHINGTON STREET  
TOMS RIVER NJ 08754

NJ 087 1-05



**UPS GROUND**

TRACKING #: 1Z A9R 389 03 9397 5779



BILLING: P/P



Trk Ref No.: 21886.004 (WFH)  
Trk Ref No.: Shipment Reference #2  
2018.01.25  
NW45 87.0A 01/25/18



Please fold or cut in half

Print at 100% size and do NOT photocopy. Using a photocopy could delay the delivery of your package and may result in additional shipping charge.



**Thank you for shipping with Unishippers.**

UPS standard terms and conditions apply.

Rate Estimate: 8.04 USD  
Protection: 0.00 USD

Weight (lbs): 1  
Dimensions: 0x0x0  
Ship Ref: 21886.004 (WFH)  
Service Level: UPS Ground  
Special Svc:

Shipment Date: 2018-01-25  
Bill Shipment To: Bill My Account  
Bill To Acct: A9R389

Description:

# RECEIPT

**Waybill #: 1ZA9R3890393975779**

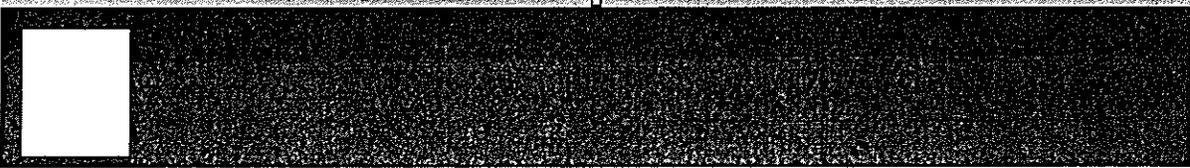
To (Company):  
TOWNSHIP OF TOMS RIVER

33 WASHINGTON STREET

TOMS RIVER, NJ, 08754  
UNITED STATES

Attention To:  
ALISON CARLISLE, TOWNSHIP  
555-555-5555

Sent By:  
Rochelle Wilson  
973-533-0777



**Your package has been delivered.**

**Delivery Date:** Friday, 01/26/2018

**Delivery Time:** 10:56 AM

At the request of Genova Burns LLC this notice alerts you that the status of the shipment listed below has changed.

## Shipment Detail

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<b>Tracking Number:</b>	<b><u>1ZA9R3890393975779</u></b>
<b>Ship To:</b>	Alison Carlisle, Township Clerk Township of Toms River 33 WASHINGTON ST TOMS RIVER, NJ 08754 US
<b>UPS Service:</b>	UPS GROUND
<b>Number of Packages:</b>	1
<b>Weight:</b>	1.0 LBS
<b>Delivery Location:</b>	INSIDE DELIVERY KNEMOLLAR
<b>Transaction Reference Number:</b>	21886.004 (WFH)
<b>Transaction Reference Number:</b>	Shipment Reference #2



**GENOVA  
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William F. Harrison, Esq.  
Partner  
Member of NJ Bar  
[wharrison@genovaburns.com](mailto:wharrison@genovaburns.com)  
Direct: 973-535-4430

January 25, 2018

VIA CERTIFIED MAIL

Manchester Township  
Clerk's Office  
1 Colonial Drive  
Manchester, New Jersey 08759

Re:           **Application for CAFRA Individual Permit  
Application for Transition Area Waiver  
Proposed Retail Development  
Township of Toms River: Block 505, Lots 14 and 15  
Township of Manchester: Block 44, Lots 2, 3, 4, 5 and 9;  
Block 75.01, Lot 3  
Ocean County  
DEP File No. 1500-04-0001.3-CAF160001**

Dear Sir/Madam:

This letter is to provide you with legal notification that an individual CAFRA permit application and a transition area waiver application will be submitted to the New Jersey Department of Environmental Protection, Division of Land Use Regulation for the development shown on the enclosed plan. A complete copy of the CAFRA application and Transition Area Waiver application is enclosed and includes the following:

- *CAFRA Individual Permit Application* prepared by Bohler Engineering, dated December 2017;
- *Barred Owl* letter prepared by EcolSciences, Inc. dated January 12, 2018;
- *Freshwater Wetland Transition Area Waiver Averaging Plan* prepared by Bohler Engineering, dated December 2017;
- *Stormwater Management Facility Operations and Maintenance Manual* prepared by Bohler Engineering, dated November 2017;
- *Stormwater Management Report* prepared by Bohler Engineering, dated November 2017;



Manchester Township  
Clerk's Office  
January 25, 2018  
Page 2

- *Boundary & Wetland Location Survey*, prepared by Control Point Associates, Inc., dated August 6, 2015, last revised November 20, 2017;
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- Compact Disc containing the contents of the previous submission, Permit No. 1500-04-001.1, APL080001, SWW090001.

A brief description of the proposed development follows:

The proposed development includes one (1) 111,186-SF retail building, three (3) 4,800-SF restaurants and one (1) 9,322-SF retail building. Also included is the associated parking, circulation, utilities, stormwater management, landscaping and lighting associated with these uses. Five hundred and sixty-seven (567) parking spaces are proposed for the entire development. A stormwater management system that utilizes three above-ground basins has been designed to accommodate the development.

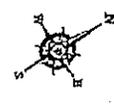
The Department of Environmental Protection welcomes comments and any information that you may provide concerning the proposed development and site. Please submit your written comments within 15 calendar days of receiving this letter to:

New Jersey Department of Environmental Protection  
Division of Land Use Regulation  
P.O. Box 420 , Code 501-02A  
Trenton, New Jersey 08625  
Attn: Toms River Bureau Chief or  
Manchester Bureau Chief

If you have any questions regarding this notice, please feel free to contact me.

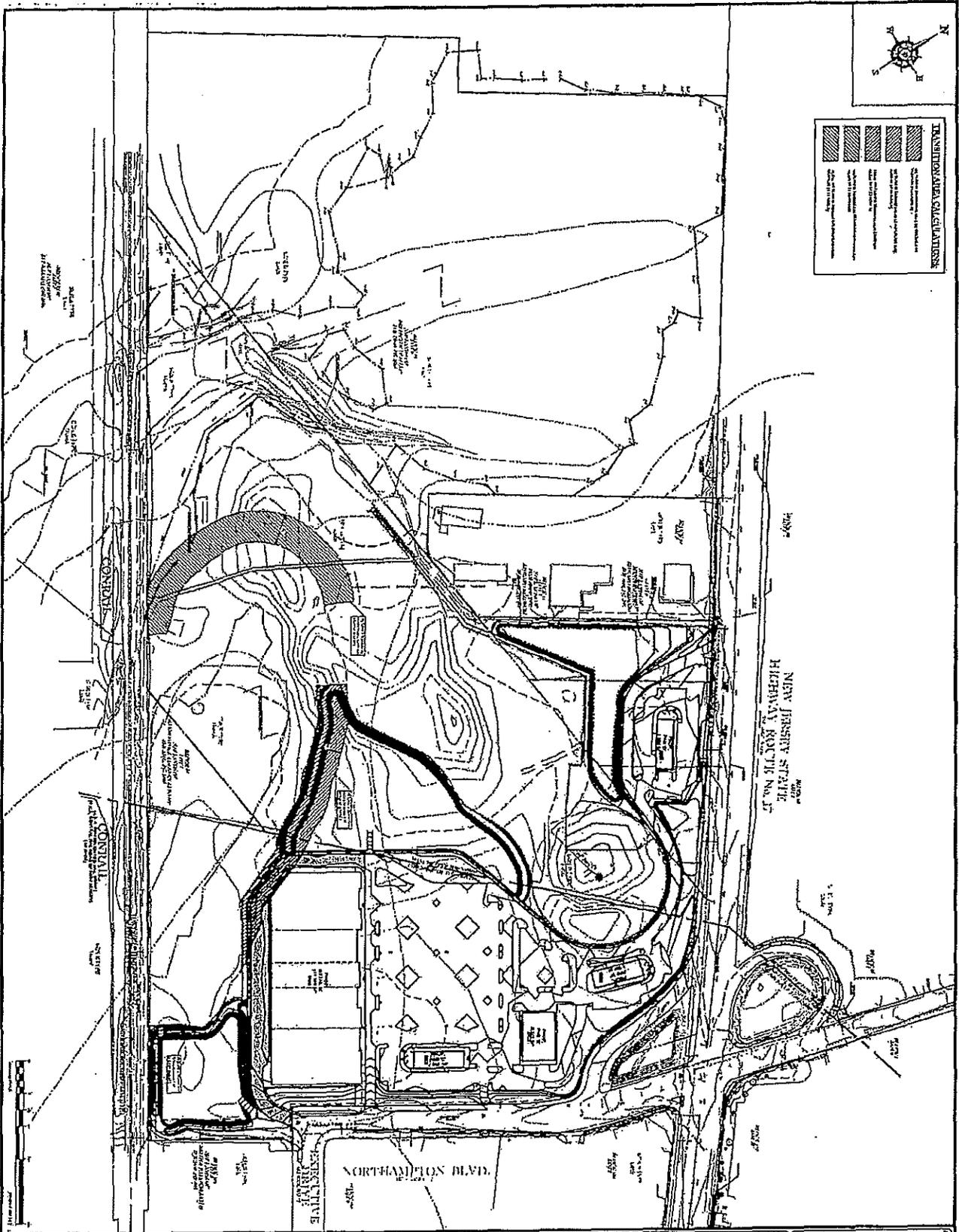
Very truly yours,

**GENOVA BURNS LLC**



**EXPLANATION**

	Proposed Highway Right-of-Way
	Proposed Highway
	Proposed Road
	Proposed Driveway
	Proposed Utility
	Proposed Structure
	Proposed Foundation
	Proposed Retention Wall
	Proposed Erosion Control
	Proposed Stormwater Management



<b>BOHLER</b> ENGINEERING	PROJECT NO. 100-000000-0000 SHEET NO. 100-000000-0000-001
	DATE: 10/1/2010 SCALE: AS SHOWN
<b>PREPARED BY:</b> J. BOHLER ENGINEER	<b>DESIGNED BY:</b> J. BOHLER ENGINEER
<b>CHECKED BY:</b> J. BOHLER ENGINEER	<b>APPROVED BY:</b> J. BOHLER ENGINEER
<b>PROJECT:</b> NORTHAMPTON BLVD CONVENT	<b>CLIENT:</b> NEW JERSEY STATE HIGHWAY ROUTE NO. 27
<b>DATE:</b> 10/1/2010	<b>SCALE:</b> AS SHOWN
<b>PROJECT NO.:</b> 100-000000-0000	<b>SHEET NO.:</b> 100-000000-0000-001



1 OF 1

1 LBS

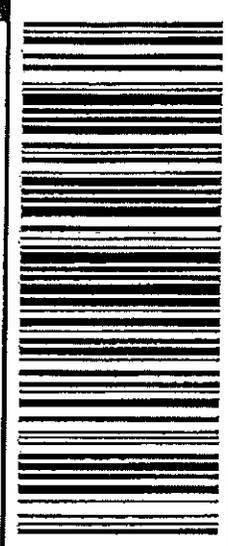
ROCHELLE WILSON  
973-533-0777  
GENOVA BURNS LLC  
494 BROAD STREET  
NEWARK NJ 07102

**SHIP TO:**  
CLERK'S OFFICE  
555-555-5555  
MANCHESTER TOWNSHIP CLERK  
1 COLONIAL DRIVE  
MANCHESTER NJ 08759

NJ 087 1-02



**UPS GROUND**  
TRACKING #: 1Z A9R 389 03 9155 4389



**BILLING: P/P**

Doc Ref No.: 21886.004 (WFH)  
Trx Ref No.: Shipment Reference #82  
NEW 97.04.07.2018




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Rate Estimate: 8.04 USD  
Protection: 0.00 USD

Weight (lbs): 1  
Dimensions: 0x0x0  
Ship Ref: 21886.004 (WFH)  
Service Level: UPS Ground  
Special Svc:

Shipment Date: 2018-01-25  
Bill Shipment To: Bill My Account  
Bill To Acct: A9R389

**Waybill #: 1ZA9R3890391554389**  
To (Company):  
MANCHESTER TOWNSHIP

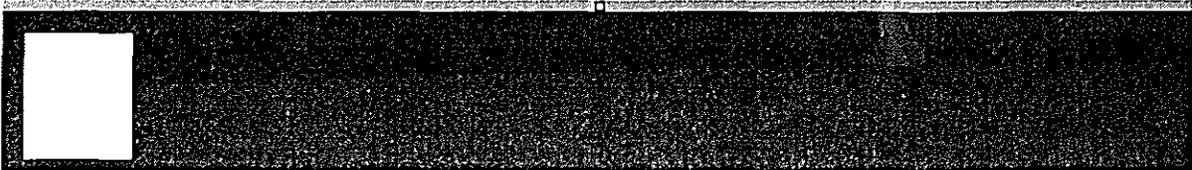
1 COLONIAL DRIVE

MANCHESTER, NJ, 08759  
UNITED STATES

Attention To:  
CLERK'S OFFICE  
555-555-5555

Sent By:  
Rochelle Wilson  
973-533-0777

Description:



**Your package has been delivered.**

**Delivery Date:** Friday, 01/26/2018

**Delivery Time:** 09:59 AM

At the request of Genova Burns LLC this notice alerts you that the status of the shipment listed below has changed.

## Shipment Detail

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<b>Tracking Number:</b>	<b><u>1ZA9R3890391554389</u></b>
<b>Ship To:</b>	Clerk's Office Manchester Township Clerk 1 COLONIAL DR MANCHESTER, NJ 08759 US
<b>UPS Service:</b>	UPS GROUND
<b>Number of Packages:</b>	1
<b>Weight:</b>	1.0 LBS
<b>Delivery Location:</b>	RECEIVER MICKENS
<b>Transaction Reference Number:</b>	21886.004 (WFH)
<b>Transaction Reference Number:</b>	Shipment Reference #2

7016 2140 0000 4270 5070

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Adult Signature Restricted Delivery \$

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\$

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\$ NJDEP

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Trenton, NJ 08625-0401

City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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Adult Signature Restricted Delivery \$

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\$

Total Postage and Fees  
\$ NIDOT

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P.O. Box 600

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Trenton, NJ 08625-0600

City, State, ZIP+4®  
21886-004 (KEB)

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Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$ Ocean County Utilities Auth.

Sent To  
P.O. Box P

Street and/or P.O. Box No.  
Bridgewater, NJ 08721-0000

City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$ Borough of Lakehurst

Sent To  
Clerk's Office

Street and/or P.O. Box No.  
Union Avenue  
Lakehurst, NJ 08733

City, State, ZIP+4®  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5124

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
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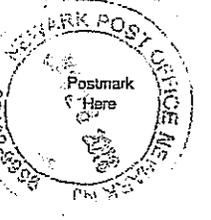
Total Postage and Fees  
\$ 87th Mission Support Group Commander

Sent To  
2901 Falcon Lane, Suite 200

Street and/or P.O. Box No.  
Bridgewater, NJ 08721-0000

City, State, ZIP+4®  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5130

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Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
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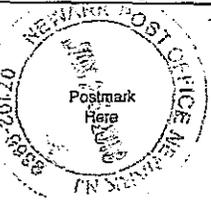
Total Postage and Fees  
\$ FCM Land Mgmt Inc

Sent To  
704-1 Old Shore Rd

Street and/or P.O. Box No.  
Essex River, NJ 08731

City, State, ZIP+4®  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2383

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Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Holiday City Homeowners Corp  
 98 Bananier Dr  
 Street and Apt. No., PO Box No.  
 Tom's River, NJ 08757  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions

7016 0340 0000 8876 2246

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Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Stefanacci, Joseph  
 35 Pilot Road  
 Street and Apt. No., PO Box No.  
 Tom's River, NJ 08753  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions

7016 0340 0000 8876 2376

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Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Kmak, Diane & Albert, Harry B  
 194 Biabou Dr  
 Street and Apt. No., PO Box No.  
 Tom's River, NJ 08757  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions

7016 0340 0000 8876 2239

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**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Benn Associates LLC  
 500 Boardwalk  
 Street and Apt. No., PO Box No.  
 Seaside Heights, NJ 08751  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions

7016 0340 0000 8876 2253

**U.S. Postal Service™**  
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**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Trak Realty LLC  
 904 Sea Girt Avenue  
 Street and Apt. No., PO Box No.  
 Sea Girt, NJ 08750  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions

7016 0340 0000 8876 2260

**U.S. Postal Service™**  
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*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Jaylin Holdings LLC  
 1027 Hooper Ave, Bldg 1  
 Street and Apt. No., PO Box No.  
 Tom's River, NJ 08753-8363  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions

7016 0340 0000 8876 2277

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate):  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent to Conrail

Street and Apt. No., or PO Box No.  
6 Penn Center Plaza  
Philadelphia, PA 19103

City, State, ZIP+4®  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2284

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate):  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
\$

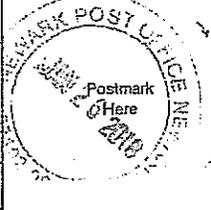
Total Postage and Fees  
\$

Sent to NJ Natural Gas Co

Street and Apt. No., or PO Box No.  
P.O. Box 1378  
Attn: ROW Representative  
21886 004 (KEB)

City, State, ZIP+4®  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2291

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate):  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent to NJ-American Water Co, Inc.

Street and Apt. No., or PO Box No.  
1025 Laurel Oak Road  
Toms River, NJ 08753

City, State, ZIP+4®  
Attn: Duna Short, GIS Super.  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2307

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate):  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
\$

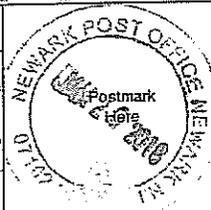
Total Postage and Fees  
\$

Sent to United Water

Street and Apt. No., or PO Box No.  
1451 Route 37 West  
Toms River, NJ 08753

City, State, ZIP+4®  
Attn: General Manager  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2314

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate):  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
\$

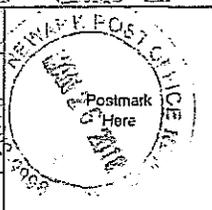
Total Postage and Fees  
\$

Sent to Comcast Cable Communications

Street and Apt. No., or PO Box No.  
830 Route 37 West  
Toms River, NJ 08755

City, State, ZIP+4®  
Attn: Construction Sup.  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2321

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate):  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
\$

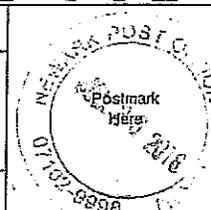
Total Postage and Fees  
\$

Sent to Toms River Municipal Utilities Authority

Street and Apt. No., or PO Box No.  
340 West Water St  
Toms River, NJ 08753

City, State, ZIP+4®  
21886 004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2338

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

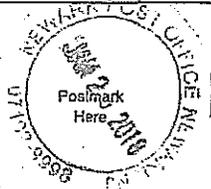
For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: JCP&L, A First Energy Company  
 331 Newman Springs Road  
 Bridgewater Spite 225x No.  
 Red Bank, NJ 07701  
 City, State, ZIP+4®  
 21886.004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2345

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Department of Transportation  
 1035 Parkway Ave  
 Trenton, NJ 08625  
 Street and Apt. No., or PO Box No.  
 21886.004 (KEB)  
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2352

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Township of Berkeley  
 627 Piniewald-Keswick Rd. Box B  
 Bayville, NJ 08724  
 Attn: Clerk  
 City, State, ZIP+4®  
 21886.004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2369

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

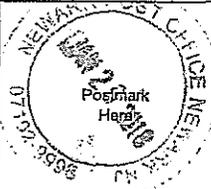
For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Township of Manchester  
 Colonial Drive  
 Manchester, NJ 08759  
 Attn: Clerk  
 City, State, ZIP+4®  
 21886.004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2420

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Consolidated Rail Corp (Greg Oliver)  
 110 Franklin Rd-Box 28  
 Roanoke, VA 24042  
 City, State, ZIP+4®  
 21886.004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2437

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

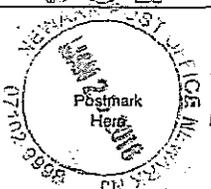
For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: State of NJ-DOT  
 1035 Parkway Avenue  
 Trenton, N.J. 08618  
 Street and Apt. No., or PO Box No.  
 21886.004 (KEB)  
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2444

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To  
Ocean County Planning Board  
129 Hooper Avenue  
Toms River, NJ 08753  
City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2468

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To  
United Water Company  
1451 Route 37 West, Suite 2  
Toms River, NJ 08755  
City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2482

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

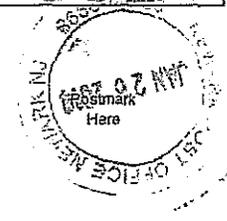
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To  
Garden State Parkway  
NJ Highway Authority-PO Box 5042  
Rt 9 & Georges Road  
Woodbridge, NJ 07095-5042  
City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2451

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

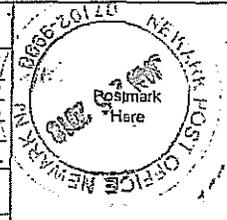
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To  
Berkeley Township MUA  
42 State Road  
Bayville, NJ 08795  
City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2475

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

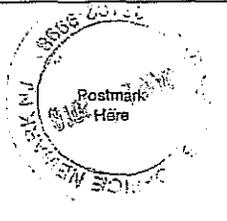
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To  
Seaside Heights Water Company  
P.O. Box 38  
Seaside Heights, NJ 08751  
City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2499

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

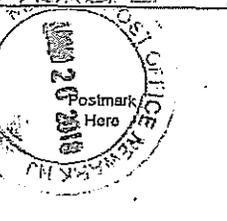
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To  
Berkeley Township Sewerage Authority  
255 Route 9  
Bayville, NJ 08721  
City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 0340 0000 8876 2505

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate):

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To **Aqua New Jersey Inc.**

Street and Apt. No., or PO Box No. **10 Black Forest Road**

City, State, ZIP+4® **Seaside Park, NJ 08752**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5025

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate):

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To **Shore Water Company**

Street and Apt. No., or PO Box No. **P.O. Box 408**

City, State, ZIP+4® **Seaside Park, NJ 08752**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5148

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate):

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To **Toms River Township**

Street and Apt. No., or PO Box No. **33 Washington Street**

City, State, ZIP+4® **Toms River, NJ 08753**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5155

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate):

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To **Comcast**

Street and Apt. No., or PO Box No. **830 Route 37 West**

City, State, ZIP+4® **Toms River, NJ 08755**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5162

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate):

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To **Manchester Township**

Street and Apt. No., or PO Box No. **Clerk's Office**

City, State, ZIP+4® **1 Colonial Drive**

Manchester, NJ 08759

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5179

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate):

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To **NJ Natural Gas**

Street and Apt. No., or PO Box No. **PO Box 1464**

City, State, ZIP+4® **Manchester, NJ 08759**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5186

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

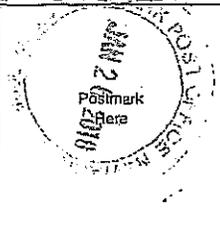
Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Verizon, Eng Dept  
 PO Box 152206  
 Irving, TX 75015  
 City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5193

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

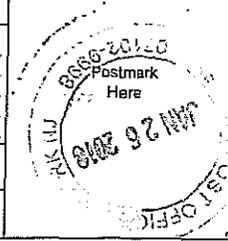
Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 NI DEP  
 CN 401  
 Trenton, NJ 08625  
 City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5209

**U.S. Postal Service**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

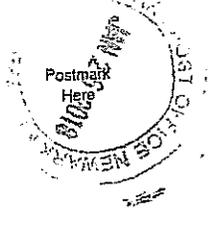
Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Ocean County MUA  
 PO Box P  
 Bayville, NJ 08721  
 City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5216

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**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

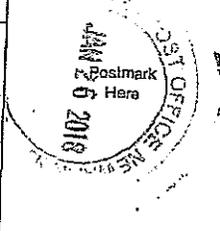
Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 GPU  
 400 Lincoln Street  
 Hightstown, NJ 08865  
 City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5223

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**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

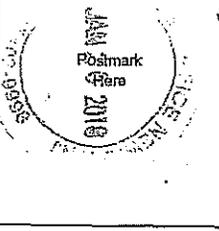
Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 NJ DOT  
 Route 79 & Daniels Way  
 Princeton, NJ 08542  
 City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5230

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**OFFICIAL USE**

Certified Mail Fee  
 \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

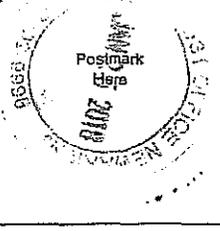
Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
 \$ \_\_\_\_\_

Total Postage and Fees  
 \$ \_\_\_\_\_

Sent To  
 Ocean County Road Dept  
 119 Hooper Avenue  
 Potts River, NJ 08753  
 City, State, ZIP+4® (KEB) 21886-004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5247

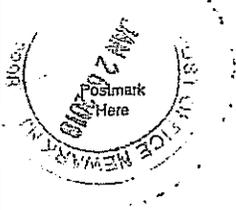
**U.S. Postal Service™**  
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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	\$
Total Postage and Fees	\$
Hovsons Inc/The Manor	
Sent To 1730 Route 37 West	
Street and PO Box, ZIP+4® 08757	
City, State, ZIP+4® 21886-004 (KEB)	

PS Form 3800, April 2015 PSN 7530-0200-9047 See Reverse for Instructions



7016 2140 0000 4270 5254

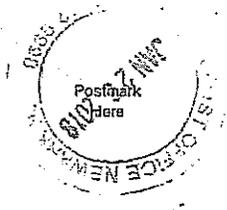
**U.S. Postal Service™**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	\$
Total Postage and Fees	\$
Lunney, Colleen	
Sent To 2 N Boom Way	
Street and PO Box, ZIP+4® 08087	
City, State, ZIP+4® 21886-004 (KEB)	

PS Form 3800, April 2015 PSN 7530-0200-9047 See Reverse for Instructions



7016 2140 0000 4270 5261

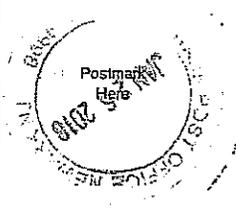
**U.S. Postal Service™**  
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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	\$
Total Postage and Fees	\$
Jaylin Holdings	
Sent To 1027 Hooper Avenue Build 1	
Street and PO Box, ZIP+4® 08753	
City, State, ZIP+4® 21886-004 (KEB)	

PS Form 3800, April 2015 PSN 7530-0200-9047 See Reverse for Instructions



7016 2140 0000 4270 5278

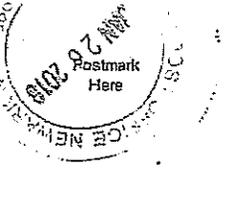
**U.S. Postal Service™**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	\$
Total Postage and Fees	\$
Varelli Jean Est/John Mauder	
Sent To 125 Charles Blvd	
Street and PO Box, ZIP+4® 08050	
City, State, ZIP+4® 21886-004 (KEB)	

PS Form 3800, April 2015 PSN 7530-0200-9047 See Reverse for Instructions



7016 2140 0000 4270 5285

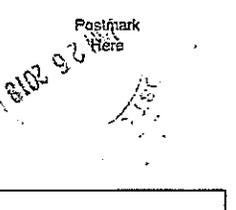
**U.S. Postal Service™**  
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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	\$
Total Postage and Fees	\$
Jaylin Holdings	
Sent To 1027 Hooper Ave 1	
Street and PO Box, ZIP+4® 08753	
City, State, ZIP+4® 21886-004 (KEB)	

PS Form 3800, April 2015 PSN 7530-0200-9047 See Reverse for Instructions



7016 2140 0000 4270 5292

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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	\$
Total Postage and Fees	\$
Keyport Realty LLC	
Sent To 401 E Linden Avenue	
Street and PO Box, ZIP+4® 08036	
City, State, ZIP+4® 21886-004 (KEB)	

PS Form 3800, April 2015 PSN 7530-0200-9047 See Reverse for Instructions



7016 2140 0000 4270 5308

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

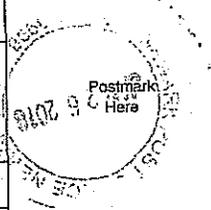
Total Postage and Fees  
\$

Jaylin Holdings LLC

Sent To  
1027 Hooper Ave Bldg 1  
Toms River, NJ 08753

Street and Apt. No. or PO Box No.  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5322

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

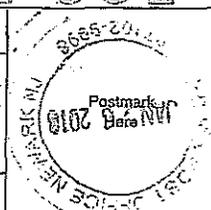
Total Postage and Fees  
\$

Heritage Minerals inc/Hovsons Inc

Sent To  
400 Rt 66 Hovchild Plaza  
Toms River, NJ 08753

Street and Apt. No. or PO Box No.  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5346

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

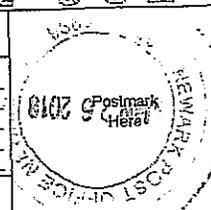
Total Postage and Fees  
\$

Consolidated Rail Corp

Sent To  
6 Penn Center Plaza  
Philadelphia, PA 19103

Street and Apt. No. or PO Box No.  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5315

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

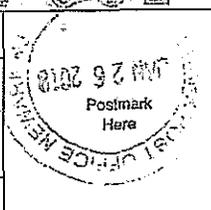
Total Postage and Fees  
\$

Pine Acres LLC

Sent To  
1881 Hwy 37  
Toms River, NJ 08757

Street and Apt. No. or PO Box No.  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5334

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

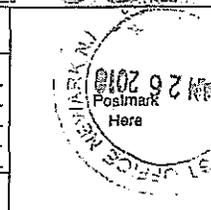
Total Postage and Fees  
\$

Grunin, Jay & Linda

Sent To  
1027 Hooper Avenue Bldg 1  
Toms River, NJ 08753

Street and Apt. No. or PO Box No.  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5353

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For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

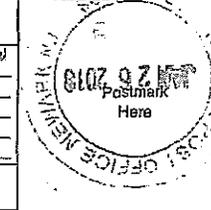
Total Postage and Fees  
\$

Heritage Minerals Inc/Hovsons Inc.

Sent To  
4000 Rt 66 Hovchild Plaza  
Toms River, NJ 08753

Street and Apt. No. or PO Box No.  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2140 0000 4270 5360

U.S. Postal Service  
CERTIFIED MAIL® RECEIPT  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
OFFICIAL USE

Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$



Postage \$  
Total Postage and Fees \$

\$ FCM Land Mgmt Inc  
Sent To 704-1 Old Shore Rd  
Street and Apt. No. or PO Box No. Forked River, NJ 08731  
City, State, ZIP+4® 08004 (KEB)  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5364

U.S. Postal Service  
CERTIFIED MAIL® RECEIPT  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
OFFICIAL USE

Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$



Postage \$  
Total Postage and Fees \$

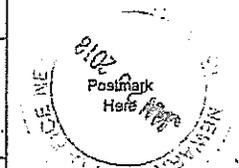
\$ Braden, Michael & Cheryl  
Sent To 520 Gold St  
Street and Apt. No. or PO Box No. Forked River, NJ 08753  
City, State, ZIP+4® 08004 (KEB)  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5407

U.S. Postal Service  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
OFFICIAL USE

Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$



Postage \$  
Total Postage and Fees \$

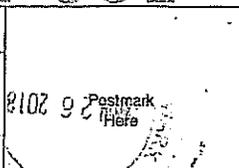
\$ Stevenson, Irving J & Joanne  
Sent To 181 Beckerville Rd  
Street and Apt. No. or PO Box No. Manchester, NJ 08759  
City, State, ZIP+4® 08004 (KEB)  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5377

U.S. Postal Service  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
OFFICIAL USE

Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$



Postage \$  
Total Postage and Fees \$

\$ Manchester EC Company LLC  
Sent To 625 W Ridge Pike BA ST100  
Street and Apt. No. or PO Box No. Conshohocken, PA 19428  
City, State, ZIP+4® 08004 (KEB)  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5391

U.S. Postal Service  
CERTIFIED MAIL® RECEIPT  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
OFFICIAL USE

Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$



Postage \$  
Total Postage and Fees \$

\$ Heritage Minerals Inc/Hovsons Inc.  
Sent To 74000 Rt 66 Hovchild Plaza  
Street and Apt. No. or PO Box No. Forked River, NJ 08753  
City, State, ZIP+4® 08004 (KEB)  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5414

U.S. Postal Service  
CERTIFIED MAIL® RECEIPT  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
OFFICIAL USE

Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$



Postage \$  
Total Postage and Fees \$

\$ Schick, Kenneth F  
Sent To 207 Beckerville Rd  
Street and Apt. No. or PO Box No. Manchester, NJ 08759  
City, State, ZIP+4® 08004 (KEB)  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5421

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

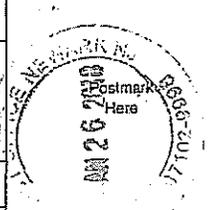
Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Manchester FC Company LLC**  
625 W Ridge Pike BA ST100  
Manchester, PA 19428  
City, State, ZIP+4® **21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7530-0200-9047-7. See Reverse for Instructions.



7016 2140 0000 4270 5445

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

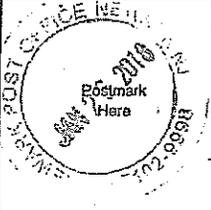
Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Sparks, Danny & Barbara**  
247 Beckerville Rd  
Manchester, NJ 08759  
City, State, ZIP+4® **21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7530-0200-9047-7. See Reverse for Instructions.



7016 2140 0000 4270 5469

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For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

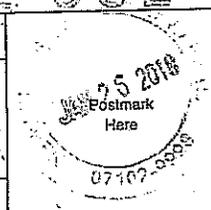
Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Heritage Minerals Inc/Hovsons Inc.**  
4000 Rt 66 Hovchild Plaza  
Trenton, NJ 08625  
City, State, ZIP+4® **21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7530-0200-9047-7. See Reverse for Instructions.



7016 2140 0000 4270 5438

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

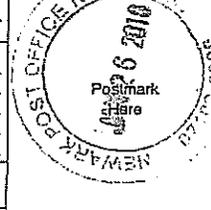
Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Bivins, Alonzo**  
346 River Terrace  
Manchester, NJ 08755  
City, State, ZIP+4® **21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7530-0200-9047-7. See Reverse for Instructions.



7016 2140 0000 4270 5452

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Stroud, Shawn**  
201 Beckerville Rd  
Manchester, NJ 08759  
City, State, ZIP+4® **21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7530-0200-9047-7. See Reverse for Instructions.



7016 2140 0000 4270 5476

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

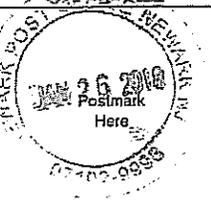
Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Dept of Environmental Protection**  
PO Box 412  
Trenton, NJ 08625  
City, State, ZIP+4® **21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7530-0200-9047-7. See Reverse for Instructions.

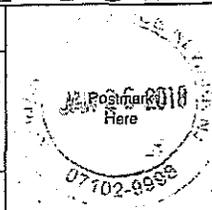


7016 2140 0000 4270 5490

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Certified Mail Fee \$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To <u>Manchester FC Company LLC</u> <u>625 W Ridge Pike BA ST100</u> <u>Conshohocken, PA 19428</u> Street and Apt. No. or PO Box No. <u>21886-004 (KEB)</u> City, State, ZIP+4®	

PS Form 3800, April 2015 PSN 7500-02-000-9077 See Reverse for Instructions

7016 2140 0000 4270 5490

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**OFFICIAL USE**

Certified Mail Fee \$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To <u>Manchester Township</u> <u>1 Colonial Dr</u> <u>Manchester, NJ 08759</u> Street and Apt. No. or PO Box No. <u>21886-004 (KEB)</u> City, State, ZIP+4®	

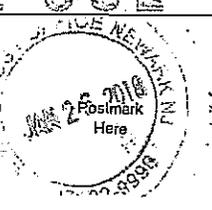
PS Form 3800, April 2015 PSN 7500-02-000-9077 See Reverse for Instructions

7016 2140 0000 4270 5513

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**OFFICIAL USE**

Certified Mail Fee \$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To <u>Lunney, Colleen</u> <u>2 N Boom Way</u> <u>Porter, NJ 08087</u> Street and Apt. No. or PO Box No. <u>21886-004 (KEB)</u> City, State, ZIP+4®	

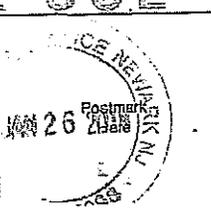
PS Form 3800, April 2015 PSN 7500-02-000-9077 See Reverse for Instructions

7016 2140 0000 4270 5513

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Certified Mail Fee \$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To <u>Jaylin Holdings</u> <u>1027 Hooper Ave Build 1</u> <u>Porter, NJ 08753</u> Street and Apt. No. or PO Box No. <u>21886-004 (KEB)</u> City, State, ZIP+4®	

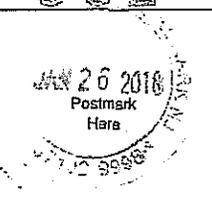
PS Form 3800, April 2015 PSN 7500-02-000-9077 See Reverse for Instructions

7016 2140 0000 4270 5537

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**OFFICIAL USE**

Certified Mail Fee \$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To <u>Jaylin Holdings LLC</u> <u>1027 Hooper Ave Bldg 1</u> <u>Porter, NJ 08753</u> Street and Apt. No. or PO Box No. <u>21886-004 (KEB)</u> City, State, ZIP+4®	

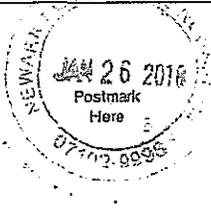
PS Form 3800, April 2015 PSN 7500-02-000-9077 See Reverse for Instructions

7016 2140 0000 4270 5537

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**OFFICIAL USE**

Certified Mail Fee \$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To <u>Heritage Minerals Inc/Hovsons Inc.</u> <u>4000 Rt 66 Hovchild Plaza</u> <u>inton, PA 19773</u> Street and Apt. No. or PO Box No. <u>21886-004 (KEB)</u> City, State, ZIP+4®	

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7016 2140 0000 4270 5544

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Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage \$  
Total Postage and Fees \$  
Sent To  
Grunin, Jay & Linda  
1027 Hooper Ave Bldg 1  
Trenton, NJ 08645  
City, State, ZIP+4® 21886-004 (KEB)

Postmark Here  
JAN 26 2018  
NEWARK, NJ 07102-9998

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5551

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Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage \$  
Total Postage and Fees \$  
Sent To  
Consolidated Rail Corp  
6 Penn Center Plaza  
Philadelphia, PA 19103  
City, State, ZIP+4® 21886-004 (KEB)

Postmark Here  
JAN 26 2018  
NEWARK, NJ 07102-9998  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5568

U.S. Postal Service  
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Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage \$  
Total Postage and Fees \$  
Sent To  
Heritage Minerals Inc/Hovsons Inc  
4000 Rt 66 Hovchild Plaza  
Pittston, PA 18450  
City, State, ZIP+4® 21886-004 (KEB)

Postmark Here  
JAN 26 2018  
NEWARK, NJ 07102-9998

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5575

U.S. Postal Service  
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Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage \$  
Total Postage and Fees \$  
Sent To  
Jaylin Holdings Inc % Wal-Mart Tax  
PO Box 8050 Mailstop 0555  
Bentonville, AR 72716  
City, State, ZIP+4® 21886-004 (KEB)

Postmark Here  
JAN 26 2018  
NEWARK, NJ 07102-9998  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5582

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Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage \$  
Total Postage and Fees \$  
Sent To  
Sura, Raymond J & Stacy A  
43 Butternut Lane  
Dayville, NJ 08821  
City, State, ZIP+4® 21886-004 (KEB)

Postmark Here  
JAN 26 2018  
NEWARK, NJ 07102-9998

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5599

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Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage \$  
Total Postage and Fees \$  
Sent To  
Shepard, Walter & Kelleen  
361 Beckerville Rd  
Manchester, NY 10875  
City, State, ZIP+4® 21886-004 (KEB)

Postmark Here  
JAN 26 2018  
NEWARK, NJ 07102-9998  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2140 0000 4270 5605

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

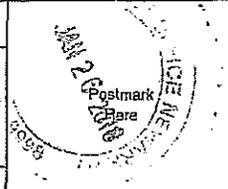
Total Postage and Fees  
\$

Sent To **Buglio, Mark J & Casterlin, E**

Street and Apartment, P.O. Box No. **318 Beckerville Rd**

City, State, ZIP+4® **Manchester, NH 08759**  
**21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7580-02-000-9073 See Reverse for Instructions



7016 2140 0000 4270 5612

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Nascimento, Anthony & Theresa**

Street and Apartment, P.O. Box No. **260 Beckerville Rd**

City, State, ZIP+4® **Manchester, NH 08759**  
**21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7580-02-000-9073 See Reverse for Instructions



7016 2140 0000 4270 5624

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Community Baptist Church**

Street and Apartment, P.O. Box No. **300 Horicon Ave**

City, State, ZIP+4® **Manchester, NH 08759**  
**21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7580-02-000-9073 See Reverse for Instructions

Postmark Here

7016 2140 0000 4270 5635

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Rogers, Calvin H Jr & Kelly Ann I**

Street and Apartment, P.O. Box No. **307 Beckerville Rd**

City, State, ZIP+4® **Manchester, NH 08759**  
**21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7580-02-000-9073 See Reverse for Instructions



7016 2140 0000 4270 5643

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Heritage Minerals Inc/Hovsons Inc.**

Street and Apartment, P.O. Box No. **4000 Rt 66 Hovchild Plaza**

City, State, ZIP+4® **Manchester, NH 08753**  
**21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7580-02-000-9073 See Reverse for Instructions



7016 2140 0000 4270 5650

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage  
\$

Total Postage and Fees  
\$

Sent To **Dept of Environmental Protection**

Street and Apartment, P.O. Box No. **401 E State St**

City, State, ZIP+4® **Manchester, NH 08752**  
**21886-004 (KEB)**

PS Form 3800, April 2015 PSN 7580-02-000-9073 See Reverse for Instructions



7016 2140 0000 4270 5667

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

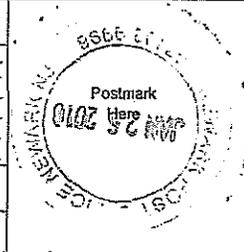
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To: Park Rod & Gun Club/G Hancockvsky  
 7 Darien Ct  
 Street and Apt. No., or PO Box No.  
 Hamilton, NJ 08620  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5674

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

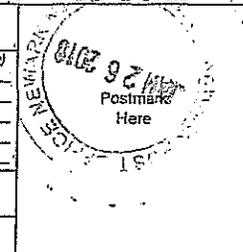
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To: Francis, Elmira  
 184 Hearthstone Dr.  
 Street and Apt. No., or PO Box No.  
 Berlin, NJ 08009  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5681

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

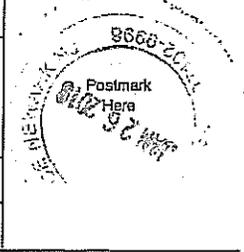
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To: Manchester FC Company LLC  
 625 W Ridge Pike BA ST100  
 Street and Apt. No., or PO Box No.  
 Conshohocken, PA 19428  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5704

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

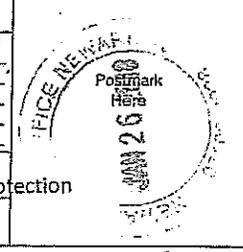
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To: NJ Department of Environmental Protection  
 Division of Land Use Regulation  
 601 East State Street  
 Station Plaza 5, 2nd Floor  
 Street and Apt. No., or PO Box No.  
 Trenton, New Jersey 08609  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5698

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

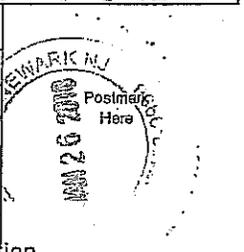
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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To: Dept of Environmental Protection  
 PO Box 412  
 Street and Apt. No., or PO Box No.  
 Trenton, NJ 08625  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5094

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\$

Extra Services & Fees (check box, add fee as appropriate)

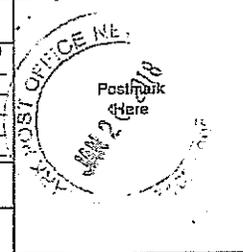
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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$

Sent To: NJ Natural Gas  
 P.O. Box 1464  
 Street and Apt. No., or PO Box No.  
 Wall NJ 07719  
 City, State, ZIP+4®  
 21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5032

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

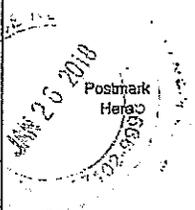
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$ Comcast

Sent To  
830 Route 37 West  
Street and Apt. No. P.O. Box 152206  
P.O. Box 152206  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5049

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$ Verizon Engineering Dept.

Sent To  
P.O. Box 152206  
Street and Apt. No. P.O. Box 152206  
P.O. Box 152206  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5056

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$ GPU

Sent To  
400 Lincoln Street  
Street and Apt. No. P.O. Box 152206  
P.O. Box 152206  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



7016 2140 0000 4270 5063

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$

Total Postage and Fees  
\$ Ocean County Road Dept.

Sent To  
P.O. Box 2191  
Street and Apt. No. P.O. Box 152206  
P.O. Box 152206  
City, State, ZIP+4®  
21886-004 (KEB)

PS Form 3800, April 2015 PSN 7530-02-000-9077 See Reverse for Instructions



**NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION  
DIVISION OF LAND USE REGULATION**

**CAFRA  
INDIVIDUAL PERMIT APPLICATION**

*for*

**Proposed Retail Development  
N.J.S.H. Route 37 and Northampton Boulevard**

**Block 44, Lots 2, 3, 4, 5 and 9  
Block 75.01, Lot 3  
Township of Manchester  
Block 505, Lots 14 and 15  
Toms River Township  
Ocean County, New Jersey**

*Prepared for:*

**Jaylin Holdings, LLC  
c/o Grunin Properties  
Dover Esplanade Building 1  
1027 Hooper Avenue  
Toms River, New Jersey 08753**

*Prepared by:*



**BOHLER**  
ENGINEERING

**35 Technology Drive  
Warren, New Jersey 07059  
908-668-8300**

**December 2017  
BENJ #JM170508**



State of New Jersey  
Department of Environmental Protection

Revised: October, 2014

Website: [www.nj.gov/dep/landuse](http://www.nj.gov/dep/landuse)



**REQUEST FOR A CAFRA INDIVIDUAL PERMIT**

**CALL NJDEP AT (609) 777-0454 IF YOU HAVE ANY QUESTIONS**

To apply for a CAFRA INDIVIDUAL PERMIT, complete this checklist and send the material required below to the following address.

Postal Mailing Address

NJ Department of Environmental Protection  
Division of Land Use Regulation  
P.O. Box 420, Code 501-02A  
Trenton, New Jersey 08625-0420  
Attn: Application Support

Street Address (Courier, Overnight Mail & Hand Carry Only)

NJ Department of Environmental Protection  
Division of Land Use Regulation  
501 East State Street  
Station Plaza 5, 2<sup>nd</sup> Floor  
Trenton, New Jersey, 08609  
Attn: Application Support

1.  A completed application form;
2.  Documentation in the form of a copy of the certified United States Postal Service white mailing receipt or other written receipt that a copy of the entire application, as submitted to the Department, has been provided to the clerk in each municipality in which the site is located.

NOTE: For a project in the Pinelands Preservation Area, the Pinelands Protection Area, or the Pinelands National Reserve, documentation shall be submitted showing that a copy of the entire application has been provided to the New Jersey Pinelands Commission.

3.  Documentation in the form of a copy of the certified United States Postal Service white mailing receipt or other written receipt and a copy of the notice letter that notice of the application has been provided to the entities listed at (A) through (E) below. This notice shall be provided no more than 30 calendar days prior to submittal of the application and no later than the date the application is submitted to the Department. The notice shall consist of a brief description of the proposed project and a site plan showing the location and boundaries of the project site and depicting the proposed development in relationship to existing site conditions. The site plan may be shown on an 8 1/2 inch by 11 inch sheet of paper provided the scale is legible and the location of the project in relation to the property boundary is clearly shown.
  - A. Construction Official of each municipality in which the site is located;
  - B. Environmental Commission, or other government agency with similar responsibilities, of each municipality in which the site is located;
  - C. Planning board of each municipality in which the site is located;
  - D. Planning board of each county in which the site is located; and
  - E. Local Soil Conservation District if the project will disturb 5,000 square feet or more of land.

**NOTE:** Individual notice to owners of real property, including easements, located within 200 feet of the property boundary of the site IS NOT REQUIRED at the time the application is submitted to the Department. Rather, notice to these individuals shall be provided at the time of the public comment period or public hearing. The applicant will be notified of the individual property owner notification requirements upon the scheduling of the public comment period or public hearing.

The notice letter required shall read as follows:

*"This letter is to provide you with legal notification that an individual CAFRA permit application will be submitted to the New Jersey Department of Environmental Protection, Division of Land Use Regulation for the development shown on the enclosed plan. A brief description of the proposed development follows: <<INSERT description of the proposed project>>*

*The complete permit application package can be reviewed at either the municipal clerk's office or by appointment at the Department's Trenton Office. The Department of Environmental Protection welcomes comments and any information that you may provide concerning the proposed development and site. Please submit your written comments within 15 calendar days of receiving this letter to:*

*New Jersey Department of Environmental Protection  
Division of Land Use Regulation  
P.O. Box 420 , Code 501-02A  
Trenton, New Jersey 08625  
Attn: (Municipality in which the property is located) Bureau Chief"*

4. An application for development in an area under the jurisdiction of the Pinelands Commission shall also include a Certificate of Filing, a Notice of Filing, a Certificate of Completeness, or a resolution approving an application for public development, issued by the Pinelands Commission.  
NA

5.  The application fee in the form of a check (personal, bank, certified, or attorney), money order, or government purchase order made payable to the "Treasurer State of New Jersey".

6.  Five copies of the site plan, certified in accordance with N.J.A.C. 7:7-23.2(i). The site plan must be folded if larger than 8 1/2 inches by 11 inches in size. The site plan shall be signed and sealed by a New Jersey licensed professional engineer, surveyor, or architect, as appropriate, unless both N.J.A.C. 7:7-23.2(h)1 and 2 are met in which case the applicant may elect to prepare his or her own site plan. The site plans must include the scale of the site plan, a north arrow, the name of the person who prepared the plan, date the site plan was prepared, and the applicant's name and the block, lot and municipality in which the site is located. In addition, the site plan shall include the following information, both on and adjacent to the site:

A. Existing features, such as lot lines, structures, land coverage, and vegetation, which are necessary to demonstrate that the proposed development meets the requirements of the Coastal Zone Management rules;

B. All proposed regulated activities, such as changes in lot lines; the size, location, and details of any proposed structures, roads, or utilities; details of any clearing, grading, filling, and/or excavation; and the anticipated limits of disturbance clearly labeled and showing all distances and dimension, as appropriate;

C. Existing and proposed topography where necessary to demonstrate that the proposed development meets the requirements of the Coastal Zone Management rules. All topography shall reference the National Geodetic Vertical Datum of 1929 (NGVD), or include the appropriate conversion factor to NGVD;

NA D. The limits of any existing or proposed tidelands instrument;

- NA
- E. Details of any proposed soil erosion and sediment control measures;
  - F. The mean high, mean low, and spring high water lines of any tidal waters on or adjacent to the project site;
  - G. The upper and lower limits of all special areas, as described at N.J.A.C. 7:7-9. For the purposes of this requirement, "upper" refers to the upland or landward limit and "lower" refers to the waterward limit of the special area;
  - H. The location of any existing or proposed public access to lands and waters subject to public trust rights as set forth at N.J.A.C. 7:7-9.48; and
  - I. State Plane coordinates for a point at the approximate center of the site, except for linear developments, the requirements for which are described below. The accuracy of the State plane coordinate shall be within 50 feet of the actual center point for the site. For assistance in determining the State plane coordinates for a site, contact the Department's Geographic Information (GIS) Office at (609) 777-0672.

For a linear development or shore protection development including beach nourishment, beach and dune maintenance, or dune creation of one-half mile or less in length, the State plane coordinates shall include the coordinates for the end points of the development. For linear developments or shore protection development of one-half mile or more in length, the State plane coordinates shall include the coordinates for the end points of the development and the coordinates for points located at 1,000-foot intervals along the entire length of the development.

7.  Color photographs showing the specific location of the proposed development taken from a minimum of four different locations and labeled as to orientation. The original color photographs must be mounted on 8 1/2 inch by 11 inch paper and be accompanied by a map showing the location and direction from which each photograph was taken with a description and location of each view..

8. Five copies of an Environmental Impact Statement (EIS) that:

- 
- A. Describes in narrative form: the proposed development or activity; the characteristics of the site and the surrounding region; and the location of all proposed regulated activities, potential impacts from the construction process, and, as applicable the operation of the development after completion;
  - B. Discusses the applicability of the Coastal Zone Management rules to the proposed development, including a detailed statement of compliance with each rule applicable to the type of development proposed. Where the applicant believes a rule otherwise applicable to the type of development proposed does not apply, the applicant shall explain the reasons why the rule does not apply to the applicant's development;
  - C. Demonstrates that the findings set forth in CAFRA at N.J.S.A. 13:19-10, and at N.J.A.C. 7:7-1.4, which must be addressed in order for the Department to issue the approval, can be made for the proposed development; and
  - D. As necessary based on project-specific and site-specific circumstances, provide support by relevant experts for the assessments, discussions, and statements made in the EIS; include the qualifications of the persons who prepared each part of the EIS; and provide references and citations to all information, reports, or treatises that are mentioned in the EIS but not contained in the EIS.

9.  If the activity for which a CAFRA individual permit is sought requires mitigation in accordance with the Coastal Zone Management rules, the applicant may submit a mitigation proposal as part of the application for the individual permit. If the applicant does not submit a mitigation proposal with the application, the applicant shall submit the mitigation proposal at least 90 calendar days before the start of activities authorized by the permit, in accordance with N.J.A.C. 7:7-17.

10.  An application for an individual CAFRA permit for the construction of wind turbines for which, in accordance with the energy facility use rule at N.J.A.C. 7:7-15.4, pre- and/or post-construction monitoring is required, shall include the proposed monitoring methodology.

11. Stormwater management must be provided in certain cases as described below. See [www.njstormwater.org](http://www.njstormwater.org) for more information.

A. Check (and explain) if the project:

- Is exempt from the Stormwater Rules at N.J.A.C. 7:8-5.2(d);  
(In such cases, you do not need to complete the rest of this section.)
- Meets the waiver requirements for public roadway improvements at N.J.A.C. 7:8-5.2(e);

B. Enter the total amount of land that will be disturbed onsite:

\_\_\_\_\_ ft<sup>2</sup> or 27.000 acres

*If at least 1 acre (43,560 ft<sup>2</sup>) of land will be disturbed, submit the following (in the engineering report):*

- One completed Low Impact Design checklist (see Appendix A of BMP manual at [www.njstormwater.org](http://www.njstormwater.org)).
- One copy of a USGS map, showing the site and its HUC-14 watershed and indicating any 300-ft buffers onsite.
- Proof that the groundwater recharge standards at N.J.A.C. 7:8-5.4(a)2 are met (unless exempted at N.J.A.C. 7:8-5.4(a)2ii).
- Proof that the runoff quantity standards at N.J.A.C. 7:8-5.4(a)3 are met (unless the project lies in a tidal floodplain and will cause no adverse impacts to flooding, as described at N.J.A.C. 7:8-5.4(a)3iv).
- Proof that the use of nonstructural stormwater strategies has been maximized onsite via a detailed narrative (including an alternative analysis where necessary), explaining how the project does (or does not) implement all nine nonstructural strategies required at N.J.A.C. 7:8-5.3.

C. Enter the net-increase in impervious area onsite:

\_\_\_\_\_ ft<sup>2</sup> or 10.841 acres

**NOTE:** Include all new impervious areas onsite, as well as existing impervious areas from which stormwater currently sheet-flows, but which will be collected into a basin or storm sewer system. Subtract any impervious areas being removed onsite.

*If a net-increase of at least ¼ acre (10,890 ft<sup>2</sup>) of impervious area will occur, submit all material in Part B above and the following:*

- Proof (in the engineering report) that the water quality standards at N.J.A.C. 7:8-5.5 are met.

**Newspaper Notice of the Submission of an Application  
for an Individual CAFRA Permit pursuant to N.J.A.C. 7:7-24.4(a)**

An applicant for an individual CAFRA permit is required to publish newspaper notice that an application for a CAFRA individual permit has been submitted to the Department. This notice shall be published no more than 10 calendar days after the CAFRA individual permit application was submitted to the Department. The newspaper notice shall:

- 1) Be published in a newspaper of general circulation in the municipality in which the site is located, or if there is no official newspaper, a newspaper of general circulation;
- 2) Be either a legal notice or display advertisement; and
- 3) Read as follows:

*"Take Notice that an individual CAFRA permit application has been submitted to the New Jersey Department of Environmental Protection, Division of Land Use Regulation for the development described below:*

APPLICANT NAME:  
APPLICANT MAILING ADDRESS:  
PROJECT NAME:  
PROJECT DESCRIPTION:  
PROJECT STREET ADDRESS:  
BLOCK:  
LOT:  
MUNICIPALITY:  
COUNTY:

*A complete copy of the individual CAFRA permit application is available to be reviewed at either the municipal clerk's office or by appointment at the Department's Trenton Office. A 30-calendar-day public comment period or public hearing will be held on this application in the future. A public hearing will be held only if the Department determines that, based on public comment or a review of the project, its scope and environmental impact, that additional information is necessary to assist in its review or evaluate potential impacts and that this information can only be obtained by providing an opportunity for a public hearing. Individuals may request that the Department hold a public hearing on this application. Requests for a public hearing shall be made in writing within 15 calendar days of the date of this notice and shall state the specific nature of the issues proposed to be raised at the hearing. Hearing requests should be sent to:*

*New Jersey Department of Environmental Protection  
Division of Land Use Regulation  
P.O. Box 420 , Code 501-02A  
Trenton, New Jersey 08625-0420  
Attn: (Municipality in which the property is located) Bureau Chief"*

Documentation that the above newspaper notice was published within 10 calendar days of the submission of the application must be provided to the Department within 10 calendar days of submission of the application to the Department. The documentation shall specify the date and newspaper in which the notice was published and shall include a copy of the newspaper notice.



Photo 1

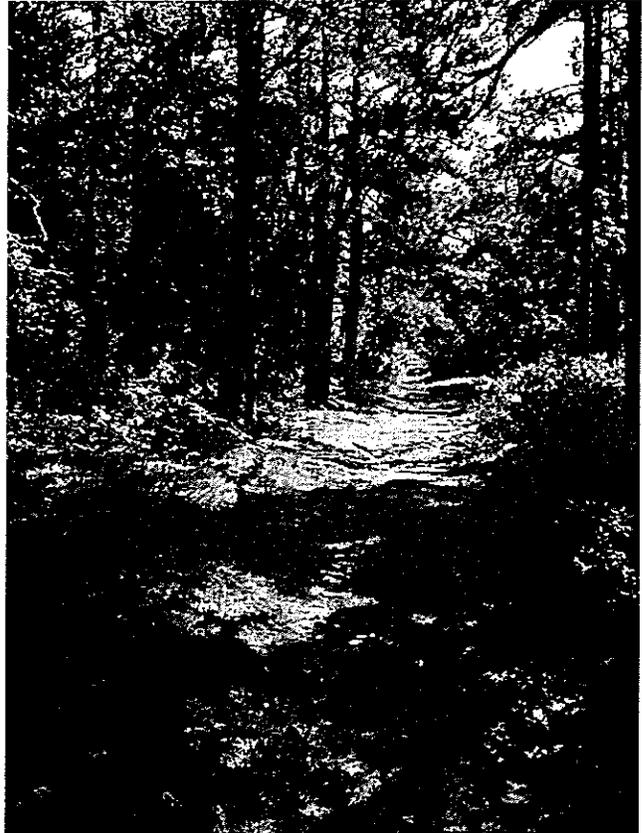


Photo 2

## Grunin Properties

Block 505/44, Lots 14 & 15/2, 3, 4, 9		Toms River and Manchester, Ocean County, NJ	
BENJ #030354			
Prepared by: MM	Date: 4/8/2016	 <b>BOHLER</b> ENGINEERING	
Checked by: GD	Scale: NTS		



Photo 3

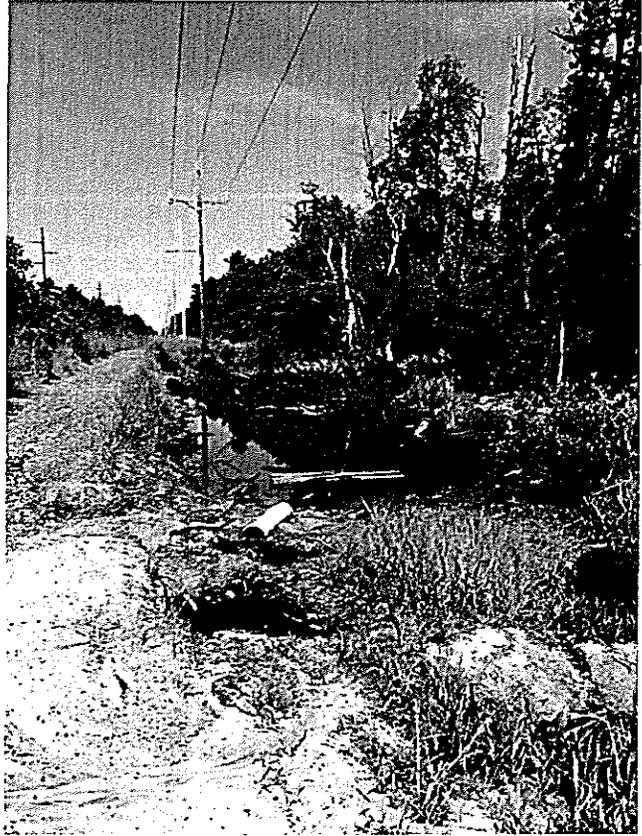


Photo 4

## Grunin Properties

<b>Block 505/44, Lots 14 &amp; 15/2, 3, 4, 9</b>		<b>Toms River and Manchester, Ocean County, NJ</b>	
BENJ #030354		 <b>BOHLER</b> ENGINEERING	
Prepared by: MM	Date: 4/8/2016		
Checked by: GD	Scale: NTS		



NA NORTHWESTERN PORTION OF SITE (LOT 5); VIEW TO THE SOUTH.



6. NORTHERN PORTION OF SITE (LOT 2); VIEW TO THE SOUTHEAST.



7. UNPAVED PATHWAY IN EASTERN PORTION OF SITE;  
VIEW TO THE WEST



8. SOUTHERN PORTION OF LOT 4; VIEW TO THE SOUTHWEST.



9. OUT-OF-SERVICE POTABLE WELL LOCATED ON LOT 3.



10. SOUTHERN PROPERTY BOUNDARY; VIEW TO THE WEST.



NA SOUTHEASTERN PORTION OF SITE (LOT 14); VIEW TO THE NORTH.  
NOTE MISCELLANEOUS DEBRIS.



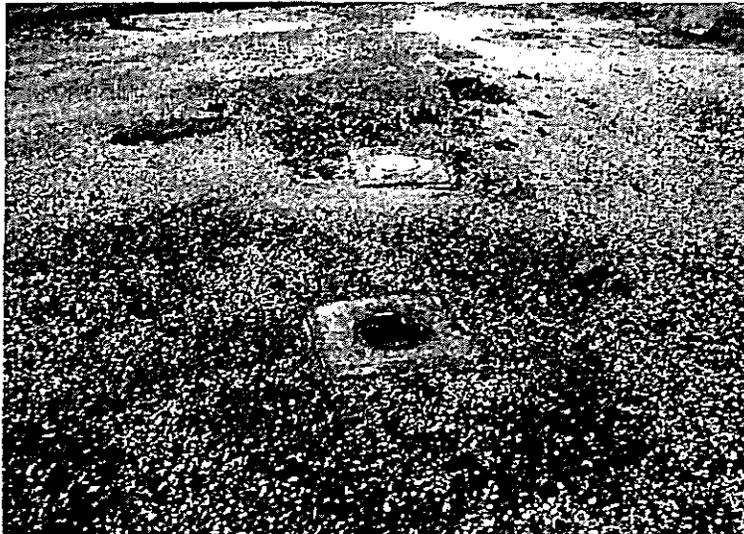
NA SOUTHWESTERN PORTION OF SITE (LOT 2); VIEW TO THE NORTH.



13. WETLAND AREAS LOCATED IN SOUTHWESTERN PORTION OF THE SITE (LOT 2).



14. WETLAND AREA LOCATED IN SOUTHERN PORTION OF SITE (LOT 14).



15. ABANDONED GROUNDWATER MONITOR WELLS LOCATED ON LOT 2.



16. ABANDONED GETTY GASOLINE STATION LOCATED ON LOT 4 (ADJOINING); VIEW TO THE SOUTHWEST.



**Photo Location Map**

## Grunin Properties

Block 505/44, Lots 14 & 15/2, 3, 4, 5, 9

Toms River and Manchester, Ocean County, NJ

BENJ #030354

Prepared by: MM

Date: 4/8/2016

Checked by: GD

Scale: NTS



**BOHLER**  
ENGINEERING

**NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION  
DIVISION OF LAND USE REGULATION**

**CAFRA  
INDIVIDUAL PERMIT APPLICATION**  
*for*

**Proposed Retail Development  
N.J.S.H. Route 37 and Northampton Boulevard**

**Block 44, Lots 2, 3, 4, 5 and 9  
Block 75.01, Lot 3  
Township of Manchester  
Block 505, Lots 14 and 15  
Toms River Township  
Ocean County, New Jersey**

*Prepared for:*

**Jaylin Holdings, LLC  
c/o Grunin Properties  
Dover Esplanade Building 1  
1027 Hooper Avenue  
Toms River, New Jersey 08753**

*Prepared by:*



**35 Technology Drive  
Warren, New Jersey 07059  
908-668-8300**

**December 2017  
BENJ #JM170508**

## TABLE OF CONTENTS

<b>1.0</b>	<b>SUMMARY STATEMENT .....</b>	<b>1</b>
	<i>Site Description .....</i>	<i>1</i>
	<i>Proposed Development .....</i>	<i>1</i>
	<i>Major Environmental Concerns.....</i>	<i>1</i>
	<i>Required Approvals .....</i>	<i>2</i>
<b>2.0</b>	<b>PROJECT DESCRIPTION .....</b>	<b>3</b>
<b>3.0</b>	<b>ENVIRONMENTAL INVENTORY .....</b>	<b>3</b>
<b>4.0</b>	<b>INVENTORY OF SPECIAL AREAS.....</b>	<b>5</b>
	<i>7:7-9.25 Flood Hazard Areas.....</i>	<i>5</i>
	<i>7:7-9.27 and 9.28 Wetlands and Wetland Buffers.....</i>	<i>5</i>
	<i>7:7-9.34 Historic and Archaeological Resources.....</i>	<i>5</i>
	<i>7:7-9.36 Endangered or Threatened Wildlife or Vegetation Species Habitats.....</i>	<i>6</i>
	<i>7:7-9.37 Critical Wildlife Habitat.....</i>	<i>9</i>
	<i>7:7-9.45 Geodetic Control Reference Marks.....</i>	<i>10</i>
<b>5.0</b>	<b>GENERAL WATER AREAS .....</b>	<b>10</b>
<b>6.0</b>	<b>REQUIREMENTS FOR IMPERVIOUS COVER AND VEGETATIVE COVER.....</b>	<b>10</b>
	<i>7:7-13.17 Impervious Cover Limits.....</i>	<i>10</i>
	<i>7:7-13.18 Vegetative Cover Percentages in the CAFRA Area.....</i>	<i>10</i>
<b>7.0</b>	<b>GENERAL LOCATION POLICIES .....</b>	<b>11</b>
	<i>7:7-14.3 Secondary Impacts .....</i>	<i>11</i>
<b>8.0</b>	<b>USE RULES .....</b>	<b>11</b>
	<i>7:7-15.10 Commercial Use Rule.....</i>	<i>11</i>
<b>9.0</b>	<b>RESOURCE RULES.....</b>	<b>12</b>
	<i>7:7-16.3 and 7:7-16.6 Water Quality and Stormwater Management.....</i>	<i>12</i>
	<i>7:7-16.7 Vegetation.....</i>	<i>12</i>
	<i>7:7-16.8 Air Quality.....</i>	<i>12</i>
	<i>7:7-16.11 Buffers and Compatibility of Uses.....</i>	<i>13</i>
	<i>7:7-16.12 Traffic.....</i>	<i>14</i>
<b>10.0</b>	<b>COMPLIANCE WITH N.J.S.A. 13:19-10 .....</b>	<b>14</b>
	<b>REFERENCES .....</b>	<b>17</b>
	<b>APPENDIX A – FIGURES</b>	
	<b>APPENDIX B – AGENCY APPROVALS</b>	
	<b>APPENDIX C - BARRED OWL FIGURES</b>	

## **1.0 SUMMARY STATEMENT**

### ***Site Description***

This application concerns a 73-acre parcel that straddles the municipal border between Toms River and Manchester Townships, to the south of Route 37 and west of Northampton Boulevard, in Ocean County, New Jersey (Appendix A). Approximately 23% of the parcel (17-acres) is located in Toms River Township, and is identified on the municipal tax maps as Lots 14 and 15 in Block 505. The remaining 77% (56-acres) is in Manchester Township, and is identified on the municipal tax maps as Lots 2, 3, 4, 5 and 9 in Block 44. Also included in the Project site parcel is Block 75.01, Lot 3, located southwest of the railroad Right-Of-Way. The Toms River Township portion of the site lies within the Toms River coastal regional center. With the exception of a former gas station at the north end of Lot 4 in Manchester Township, the parcel is undeveloped and mostly forested. Wetlands are present at the southern edge of the site in both townships, and their location was confirmed by the Department in a line verification LOI dated May 18, 2004, File No. 1500-04-0001, FWW 040001 and recently File No. 1500-04-0001.3 on April 13, 2016 for Lot 9 (Appendix B).

### ***Proposed Development***

The proposed development includes one (1) 111,186-SF retail building, three (3) 4,800-SF restaurants and one (1) 9,322-SF retail building. Also included is the associated parking, circulation, utilities, stormwater management, landscaping and lighting associated with these uses. The proposed development will require front yard setback variances. Five hundred and sixty-seven (567) parking spaces are proposed for the entire development. A stormwater management system that utilizes three above-ground basins has been designed to accommodate the development.

### ***Major Environmental Concerns***

This project initially received CAFRA approval dated April 18, 2012 (Application File No. 1500-04-0001.1). In that approval the environmental conditions were evaluated for wetlands and threatened or endangered species habitat. The results of those investigations as well as subsequent submissions and coordination with the NJDEP led to "protected lands" and permanent conservation restricted pine snake corridor of 212.79 acres. Associated with those protected and conserved lands was the establishment of wetland mitigation plans, protective snake corridors, herpetofauna fence barriers, and off-site habitat enhancement and restoration.

The 2012 CAFRA approval was based upon impervious area allowances over the portion of the site in Toms River, which allowed up to 80% of the net land area and in the Manchester Township portion of the site, allowed up to 30% of the net land area. However, although the Appellate Division otherwise upheld all the other aspects of the permit approval, the Appellate Division remanded the application to DEP to determine the appropriate impervious cover allowed for the property and determine whether the application was consistent with that determination."

A subsequent 2016 CAFRA application, which was approved on September 14, 2016, sought to address impervious cover questions raised after the approval of the 2012 application and as a result, the development area was reduced by approximately 1.9 acres of impervious cover, increasing the overall tract to a maximum impervious cover of 30% over the net land area across the entire development. The 2016 CAFRA application was approved by NJDEP on September 14, 2016 (Application File No. 1500-04-0001.3).

The current 2017 CAFRA application eliminates the Walmart facility and further reduces the scope of development to include multiple and smaller pad sites. A smaller pad site is proposed in a similar location to the previously approved Walmart facility as indicated on past CAFRA applications for the site.

Water quality and stormwater management requirements have been satisfied utilizing three (3) infiltration/detention basins. Additional non-structural strategies have been considered in the design of the proposed development and are outlined in the Low Impact Development Checklist in the Stormwater Management Report included with this application. By protecting wetlands and associated transition area, land disturbance has been minimized.

#### ***Required Approvals***

The following is a list of municipal, state, or Federal approvals required or received for the proposed activity. Note that these approvals were originally obtained for the initial application but will require new approvals based on the modified plans depicting a smaller development footprint and more land acquisition.

<b>Agency</b>	<b>Approval</b>	<b>Status</b>
Toms River Planning Board	Site Plan	To be submitted
Manchester Planning Board	Site Plan	To be submitted
NJDEP, Div. of Water Quality	Treatment Works Approval	To be submitted
NJDEP, Water Supply	Water Main Extension	To be submitted
NJDEP, Div. of Land Use	Letter of Interpretation	Approved
NJDEP, Div. of Land Use	TAW Averaging Plan	Herein
NJDEP, Div. of Land Use	CAFRA Permit	Herein
NJDEP, Div. of Land Use	Flood Hazard Area	Approved
NJDOT	Access Permit	Approved
Ocean County Planning Board	Site Plan & Minor Subdivision	To be submitted
Ocean County SCD	SESC Permit	To be submitted

## 2.0 PROJECT DESCRIPTION

The proposed development includes one (1) large retail building, three (3) restaurants and one (1) retail building. The proposed development will require front yard setback variances. The proposed development complies with the zoning for both townships, as shown below.

TOWNSHIP	ZONING	PERMITTED USES
Toms River	RHB, rural highway business	Shopping center
Manchester	HD-3, highway development	General merchandise stores

The outparcel fronts a ramp from Route 37 eastbound to Northampton Boulevard. The larger pad site, and parking areas are proposed for the southeasterly portion of the site. The larger pad site, would occupy 111,186-SF. three (3) 4,800-SF restaurants would occupy the northern and northeaster portions of the site and one (1) 9,322-SF retail building is located in the eastern portion of the site. Five hundred and twenty-one (521) parking spaces of 9' x 18' are proposed in Toms River Township and forty-six (46) parking spaces of 10' x 20' are proposed in Manchester Township for a total of Five hundred and sixty-seven (567).

Stormwater management for the site will utilize three above-ground basins, as described in the November 2017 Stormwater Management Report prepared by Bohler Engineering which accompanies this application. The system is designed to accommodate the development of the Project site at 30% impervious cover. Basins #1, #2 and #3 are designed for infiltration and detention. Based on the Stormwater Management Report, the development of the site at 30% impervious cover will not adversely affect the existing drainage.

Proposed landscaping for the project includes seeded lawn area various shade trees, evergreen trees and shrubs, sweet spires, day lilies, ornamental grasses, and ground cover for the remainder of the site. Several native coastal species are included in the plantings: Bayberry, Sassafras, Sourgum, Sweetbay Magnolia, and Sweetgum.

No on-site potable water wells are proposed for the project. The development is expected to utilize public water and an application will be made to United Water Toms River.

No on-site septic systems are proposed for the project. The development is expected to utilize the municipal sanitary sewer, and an application will be made to the Toms River Municipal Utility Authority sewage treatment plant.

Underground telephone and electric utility lines are shown on Sheets 10 and 11. HVAC units for the proposed structure are expected to utilize natural gas.

## 3.0 ENVIRONMENTAL INVENTORY

A brief summary of site conditions is provided below and in the following sections of this report.

Figure 1 shows the site location on a local street map (Appendix A). The property is bordered by Route 37 to the north, Northampton Boulevard and commercial/industrial properties to the east, the railroad tracks and undeveloped land to the south, and mobile residences to the west. Figure 2 provides an aerial photo view of the site and adjacent properties from NJ GeoWeb.

Figure 3 identifies the site location on the Keswick Grove, NJ, quadrangle of the USGS 7.5' series. The USGS map suggests a fairly level site at an elevation of 54± feet above sea level crossed by several unimproved roads. The USGS map also shows an unnamed tributary to Sunken Branch originating in the southwestern portion of the site. Sunken Branch is located within Wrangel Brook, below Michaels Branch HUC-14 sub-watershed, and is not classified as a Category One water (FW2-NT/SE1).

Figure 4 shows the NJ GeoWeb wetland mapping for the site. Four wetland habitats were identified onsite including, Atlantic White Cedar, Coniferous Wooded Wetlands, Mixed Wooded Wetlands (Coniferous Dominant) and Deciduous Wooded Wetlands. The wetlands shown on the NJ GeoWeb mapping are comparable to the wetland areas confirmed in the approved LOI (NJDEP File No. 1500-04-0001.1) a copy of the May 18, 2004, approval letter is provided in Appendix B). An LOI for Block 505, Lot 9 in Toms River Township (NJDEP File No. 1500-04-0001.3) was approved on April 13, 2016 (Appendix B).

The Natural Resources Conservation Service (NRCS), maps the site soils as listed below (see Figure 5).

MAP SYMBOL	SOIL NAME	HYDRIC SOIL RATING PERCENT
AtsA	Atsion sand, 0 to 2 percent slopes	95
LakB	Lakehurst sand, 0 to 5 percent slopes	10
LasB	Lakewood sand, 0 to 5 percent slopes	5
MumA	Mullica sandy loam, 0 to 2 percent slopes	100

#### **4.0 INVENTORY OF SPECIAL AREAS**

The areas applicable to this site are identified below; those not discussed are considered not to apply to the project in question.

##### ***7:7-9.25 Flood Hazard Areas***

The National Flood Insurance Program Flood Insurance Rate Maps were utilized to identify potential flood hazard areas on the property. The Manchester Township portion of the site is mapped as Zones X and A, Zone X (areas of minimal flooding) and Zone A (areas of 100-year flood; base flood elevations and flood hazard factors not determined). The Toms River Township portion of the site is also mapped as Zones X and A, with Zone A adjacent to the rear of the site nearest the railroad right-of-way. Figure 6 in Appendix A contains reduced copies of the FEMA map for the Project site. A flood hazard area verification for Sunken Branch was approved by NJDEP on March 4, 2005 (NJDEP File No. 1500-04-0001.1) (Appendix B).

Therefore, this Rule is met.

##### ***7:7-9.27 and 9.28 Wetlands and Wetland Buffers***

Wetlands were identified on the site in question, and a line verification LOI was approved by the Department on May 18, 2004 (a copy of the approval letter is included in Appendix B). The approved wetland delineation is shown on the Overall Site Plan (Sheet 3). According to the original LOI approval in 2004, wetland habitats identified by NJDEP were assigned a resource value of intermediate, with a standard transition area width of 50 feet. However, recent threatened and endangered species documented in the vicinity of the site resulted in a re-classification of the resource value to exceptional, resulting in a 150-ft transition area width adjacent to all wetland limits on site. The LOI approval on Block 44, Lot 9 was initially assigned both intermediate and exceptional resource value classifications. However, re-classification by NJDEP to an exceptional resource value for all wetlands on Lot 9 requires a 150-ft transition area adjacent to all wetland limits. Refer to the Overall Site Plan (Sheet 3) for exact locations of wetlands and associated transition areas. Onsite wetlands drain to Barnegat Bay and are designated as "Priority Wetlands" by the U.S. Environmental Protection Agency.

A Transition Area Waiver Averaging Plan is proposed as part of this application to reduce the Transition Area in the southeastern portion of the Site near the larger pad site. A compliance statement has been prepared as part of that application to demonstrate compliance with N.J.A.C. 7:7A-6.2.

Therefore, this Rule is met.

##### ***7:7-9.34 Historic and Archaeological Resources***

A review of the Historic Preservation Office files found that the site in question does not appear

on the National Register or the New Jersey Register of Historic Places, nor do any of the neighboring properties. The HPO file search revealed a cultural resource survey which included Lot 2 in Manchester Township (Wilson, 1987). This survey concluded that any remnants of the iron industry or cranberry bogs that may be present on the study site were representative of industries that were present elsewhere in the Pine Barrens and were not significant enough for placement on either the State or National Registers.

Comments supplied by the Historic Preservation Office, dated May 24, 2011, associated with the previous CAFRA application, confirmed that no buildings, structures, sites, objects, or historic districts on or adjacent to the project location have been listed on or identified as eligible for listing on the New Jersey or National Registers of Historic Places.

Therefore, this Rule is met.

#### *7:7-9.36 Endangered or Threatened Wildlife or Vegetation Species Habitats*

##### Northern Pine Snake

During the prior CAFRA permit application review by the NJDEP, extensive habitat and impact assessments were conducted confirming Northern Pine Snake habitat on and adjacent to the site. This determination was upheld in the decision by the Appellate Division. In addition, mitigation for impacts to Northern Pine Snake habitat were secured in preparation for permit approvals and project construction impacts. Lot 9 is immediately adjacent to the lands on the Project site that continue to be proposed for permanent protection. This determination was upheld in the decision by the Appellate Division. The following excerpt is taken from the approved CAFRA permit demonstrating project compliance with this policy.

In conclusion, after reviewing the memorandum issued by ENSP, the Endangered or Threatened Wildlife Habitat Impact Assessment, and the Analysis of Conceptual Habitat Evaluation Method for Northern Pine Snakes submitted by the Applicant, the Division has determined that the pine snake habitat on site and in the surrounding area will not be adversely affected. To the contrary, the Division has determined that, even though a portion of on-site habitat will be lost due to the Project, the measures included in the application will sufficiently reduce the risk to the snakes that may remain on the site. The construction of the snake barrier on site will direct snakes away from the project, Northampton Boulevard, Route 37, and adjacent develop parcel to an undeveloped area that is pine snake habitat. In the long run, installation of the snake barrier that keeps pine snakes away from the roads and intense development adjacent to and in the immediate area of the subject parcel and will be more protective of these snakes. Further, the proposed preservation and/or enhancement of the mitigation parcels that are part of this application will, in fact, improve habitat in the surrounding area by enhancing habitat suitability for northern pine snakes. Based upon the site specific measures to protect individual pine snakes, the acquisition of 192 acres of pine snake habitat in the area, the overall increase in habitat units (habitat value), and the existing adjoining contiguous pine snake habitat on the Heritage Minerals lands which extends for over 4 miles from

the edge of the Project, the Project would not adversely affect the relevant site and surround area for pine snake habitat.

### Pine Barrens Treefrog

In addition to the Northern Pine Snake, the pine barrens treefrog occurs throughout the Pine Barrens in Ocean, Burlington, and Atlantic Counties. Smaller populations exist in Monmouth, Camden, Gloucester, Cumberland, and Cape May Counties. Historically, the species was present in Middlesex County (New Jersey State Museum, 1906) but is now believed to be extirpated from that county (NJDEP, 2008).

Pine barrens treefrog breeding habitat includes seepage bogs, cranberry bogs, small and ephemeral ponds, streams, Atlantic white cedar swamps, pitch pine lowlands and, occasionally, disturbed wet habitats such as power and gas rights-of-way, borrow pits, and vehicle ruts (NJDEP, 2002). In many cases, but not all, pine barrens treefrog breeds in inundated habitats that dry up in mid-summer (Hulmes et al., 1980). Plant species reported from Pine Barrens treefrog breeding sites include sphagnum moss, sundews, pitcher plants, orchids, Atlantic white cedar, pitch pine, mountain laurel, highbush blueberry, swamp azalea, sheep laurel, blackjack oak, sweetbay magnolia, greenbrier, maples, and sweet pepperbush. Based upon the literature, however, vegetative species structure, not composition, is one of the primary parameters determining the suitability of a wetland for colonization by the species. Freda and Morin (1984) have reported that the preferred pine barrens treefrog breeding habitat consists of open canopy, early successional shrub-herb bogs, seeps and sphagnum ponds that are influenced by fire and other disturbances that prevent the growth of trees and the aging of these habitats.

Another primary parameter determining the suitability of a wetland for colonization by pine barrens treefrog is water quality. While the Pine Barrens treefrog is generally restricted to clean water, low in nutrients and other dissolved ions, the water quality parameter that most clearly defines its distribution is pH. Pine barrens treefrogs are able to breed in water that is too acid for most other species of frogs. Although preferring to breed in water having a pH of 4.1 - 4.5 (NJDEP, 2008), the species is tolerant of pH as low as 3.7 (Freda and Morin, 1984; Freda and Dunson, 1986). A pH value less than 3.7 has been shown in laboratory experiments to significantly inhibit hatching success of the species, and pH values of 3.5 and below represent the lethal levels for frog embryos (Freda and Morin, 1984).

The isolated wetland habitat located across Block 44 Lot 2.01 (Manchester Township)/Block 505, Lot 15 (Toms River Township) adjacent to the Conrail right of way along the southwestern property boundary can be characterized as a forested wetland with a dominance of pitch pine (*Pinus rigida*), red maple (*Acer rubrum*) and blackgum (*Nyssa sylvatica*)...Sweet pepperbush (*Clethra alnifolia*) and highbush blueberry (*Vaccinium corymbosum*) compose the wetland shrub-layer vegetation and herbaceous species include sphagnum moss (*Sphagnum*, sp.), cinnamon fern (*Osmunda cinnamomea*) and sensitive fern (*Onoclea sensibilis*). The vegetation structure/composition and hydrologic features found within this wetland are marginal with respect to potential breeding habitat for pine barrens treefrogs. Prior to the issuance of a General

Permit for the previous development, a survey of the isolated wetlands was performed and no pine barrens treefrogs were found.

The Applicant acquired Block 44, Lot 9 (Manchester Township) containing approximately 29.3-acres. A portion of wetlands on Block 44, Lot 9 have been identified as pine barrens treefrog habitat. A wetlands Letter of interpretation issued for that parcel requires that a 150 -ft transition area be assigned to those wetlands. This parcel will be subject to the deed restriction precluding development as is required to be placed on the 20.9-acre portion of the original parcel. The 20.9 acres and the 29.3 acres are contiguous to each other so there will be approximately 50.2 contiguous acres that will be permanently protected. Those 50.2 acres are located across the Conrail right of way from Block 75.01, Lot 3 (Manchester Township) which contains approximately 21 acres and will also be permanently protected from development as part of this application. All proposed development will be located more than 300 feet from those wetlands. Given the deed restriction that will be imposed on Block 44, Lot 9 precluding development of that lot and the distance the proposed development will be located from those wetlands, the existing pine barrens treefrog habitat will be permanently protected.

### **Barred Owl**

NJDEP has recently concluded that wetlands and upland forest on site provide “suitable breeding, resting and/or feeding habitat for Barred Owl” based on a June 2016 sighting of this species within 1/4-mile south of the site. Ecolsciences was contacted to conduct a habitat suitability analysis and make a determination as to whether the proposed mixed use development potentially impacts Barred Owl habitat. Below is an excerpt from their analysis.

The most recent NJDEP Landscape Project critical wildlife habitat map (Version 3.3, released in May 2017) has not incorporated the June 2016 Barred Owl sighting, as, according to the map, the site is not valued as Barred Owl habitat (Appendix C – Figure 1). Present mapping indicates Barred Owl habitat occurs just opposite the Conrail Railroad immediately south of the site (Appendix C – Figure 2). The nearby mapped Barred Owl habitat consists of nearly 16 square miles of contiguous forest bound by Conrail to the north, County Route 2 (Manchester Boulevard) to the west, County Route 530 (Pinewald-Keswick Road) to the south, and the Garden State Parkway to the east (Appendix C – Figure 3). The habitat is valued by three Barred Owl records, most recently documented in 2012.

The site, though it has suitable forested land covers valued by Barred Owl according to Landscape Project methodology, had not been mapped as habitat for this species as 1) there had been no nearby records prior to 2016 and 2) the railroad effectively separated the on-site forest from the mapped forest just to the south. Landscape Project applies a buffer, or occurrence area, of one kilometer radius to Barred Owl records, valuing all intersecting contiguous forested habitats. The on-site forest habitats are less than one kilometer from the June 2016 record, and as such, would now be valued as Barred Owl habitat.

EcolSciences conducted a field assessment of the approximately 74-acre site and surrounding area in November 2017. Approximately 67 acres (90%) of the site is forested. The proposed development would occur in the eastern portion of the site along State Highway 37 (Block 44, Lots 3, 4, and 5 and a portion of Lot 2) and Northampton Boulevard (Block 505, Lots 14 and 15),

an area mostly occupied by coniferous-dominant forest. Approximately 19 acres of the on-site forest would be cleared to accommodate the proposed development, leaving ±48 acres or over 70% of the on-site forest preserved post-development. In addition to coniferous forest the site also has deciduous and mixed wooded wetlands, pitch pine lowlands, and Atlantic white cedar wetlands.

Although the on-site forested habitats are essentially connected to a vast area valued by Barred Owl, the site is of limited breeding and foraging utility to this species based on its position in the landscape and forest structure. The site occupies an outer corner of potential Barred Owl habitat bound on three sides by roads and existing development, providing no connectivity to additional forested areas. At about 67 acres, the on-site forest would only include a small fraction (under 10%) of the areal requirement for Barred Owl based on the occurrence area applied in Landscape Project. There is heavy off-road vehicle use in the immediate area. Nearby Conrail and powerline rights-of-way provide main conduits, and there are numerous trails in forested areas both on and off-site.

While the on-site forest could hypothetically host a foraging owl, it is of no discernable significance as potential breeding habitat. Barred Owl is a cavity nester. No cavities were identified on-site that could accommodate Barred Owl. Some maples associated with deciduous wooded wetlands along the Sunken Branch tributary in Block 44, Lot 9 were the only identified hardwoods of significant girth on-site. There are no hardwoods of substantial diameter within the on-site uplands, including the coniferous-dominant forest community making up the majority of the area of proposed development.

In conclusion, the proposed development will not negatively affect Barred Owl nor its habitat. The majority of the on-site forest habitat will be preserved and maintain connectivity to the massive area of Landscape Project-mapped Barred Owl habitat south of the site.

Therefore, this Rule is met.

#### ***7:7-9.37 Critical Wildlife Habitat***

During the prior CAFRA permit application review by the NJDEP, the Department identified 39 acres of forested habitat as "critical wildlife habitat" due to its functioning as a migratory bird stopover habitat. In response, the Applicant agreed to mitigate for the disturbance by preservation of approximately 21 acres of remaining on-site forest as well as 21 acres on several off site parcels. The Department determined that permanent preservation of 42 acres of forested critical wildlife habitat on and adjacent to the Project for use as migratory song bird stopover habitat represents an appropriate mitigation measure. In addition, the remaining approximately 171 acres of offsite parcels that will be permanently protected by the Applicant are forested critical wildlife habitat.

This application is proposing the permanent protection of an additional 29.3 acres of contiguous forested critical wildlife habitat on Block 44, Lot 9.

Therefore, the Applicant meets this Rule.

**7:7-9.45 Geodetic Control Reference Marks**

As shown on the Control Point survey, NJDOT monuments are present on both sides of Route 37 in Manchester Township (near Lot 6). In addition, a benchmark (dock spike set elev. = 59.83) is present in Lot 4 (Manchester Township).

**5.0 GENERAL WATER AREAS**

Not applicable to this project.

**6.0 REQUIREMENTS FOR IMPERVIOUS COVER AND VEGETATIVE COVER**

**7:7-13.17 Impervious Cover Limits**

The entire Project site except for Block 75.01, Lot 3 is located in the Coastal Suburban Planning Area and is within a sewer service area. Based on this location, the maximum permitted impervious cover for the project site within the Coastal Suburban Planning Area is 30% of the net land area. See the table below for the calculations for the Coastal Suburban Planning Area.

	<b>Lot Area (SF)</b>	<b>Net Land Area (SF)</b>	<b>Proposed Impervious Area (SF)</b>	<b>Total Impervious (%)</b>
<b>Toms River*</b>	746,333	607,337	409,916	<b>67.5%</b>
<b>Manchester**</b>	2,453,136	974,896	62,301	<b>6.4%</b>
<b>Total Proposed***</b>	3,199,469	1,582,233	472,217	<b>29.8%</b>

\* Includes Lots 14 and 15.

\*\* Includes Lots 2, 3, 4, 5 and 9.

\*\*\* Impervious area available following construction is 2,453-SF [(30%-29.8%) X 1,582,233-SF]

**7:7-13.18 Vegetative Cover Percentages in the CAFRA Area**

The Project site is located within the Coastal Suburban Planning Area, within a sewer service area, 35% of existing forested areas within the net land area must be preserved and 5% of the unforested areas within the net land area must be preserved or planted with trees. The Project site contains 30.644 acres of forest, of which 10.725 acres must be preserved and 5.676 acres of unforested area, of which 0.283 acres must be planted or preserved. A total of 51.77 acres of forested lands on the Project site will be preserved.

The remaining portion of the net land area that will not be impervious cover will be comprised of planted or preserved herb/shrub vegetation as required by N.J.A.C. 7:7-13.18.

Therefore, these Rules are met.

## **7.0 GENERAL LOCATION POLICIES**

Those policies not discussed are considered not to apply to the project in question.

### ***7:7-14.2 Basic Location Rule***

As previously stated in the 2012 CAFRA permit approval by the NJDEP, the “Applicant has continually demonstrated a willingness to modify the Project and to acquire additional lands for preservation in order to accommodate a threatened species Northern Pine Snake, and to fulfill its obligation to minimize impacts to wildlife and to preserve, protect, and enhance the natural environment”. In addition, it is also anticipated that approval of this CAFRA permit will impose conditions to the permit to ensure that requirements under this Rule are met. The Project has been designed to cause minimal interference with the natural functioning of the plant, animal, fish and human life processes at the site and the surrounding region by complying with applicable municipal and state land use regulations and by making every effort, short of project abandonment, to protect the Northern Pine Snake located within and adjacent to the Project area and to promote the viability of Northern Pine Snakes in the region.

Therefore, this Rule is met.

### ***7:7-14.3 Secondary Impacts***

No additional development is expected to result from the approval of this project. Retail use of this site will not result in increased demands for recreation facilities, schools, etc., as would residential usage of the site.

Therefore, this Rule is met.

## **8.0 USE RULES**

The Rules not discussed are considered not to apply to the project in question.

### ***7:7-15.10 Commercial Use Rule***

The proposed development falls into the retail trade category. As noted at 15.10(b)3, new or expanded retail trade establishments are conditionally acceptable so long as the following conditions are met.

- The development must comply with all applicable Location and Resource rules;
- The development must be compatible with surrounding development; and
- Where appropriate, the water area must be the central focus of the development.

The proposed retail development complies with the first two conditions. The third condition does not apply to this site.

Therefore, this Rule is met.

## **9.0 RESOURCE RULES**

The Rules applicable to this site are identified below; those not discussed are considered not to apply to the project in question.

### ***7:7-16.3 and 7:7-16.6 Water Quality and Stormwater Management***

The system is designed to accommodate the development of the Project site at 30% impervious coverage. Basins #1, #2, and #3 were designed for infiltration and detention. According to the Stormwater Management Report, the proposed development will not adversely impact the existing drainage system.

The proposed development satisfies Toms River Township, Manchester Township, Ocean County, NJDEP, NJDOT and CAFRA criteria. Specifically, the design meets water quality, peak runoff rate reduction, and groundwater recharge requirements. In addition, the development proposes minimal disturbance to the wetland and wetland transition area and provides water quality for the stormwater runoff generated from a portion of Northampton Boulevard. No encroachment is proposed in the Flood Hazard Area, and it is anticipated that the pine snake habitat will be protected and preserved in accordance with NJDEP requirements. As a result, we would anticipate the proposed development will have no negative impact on the existing stormwater management system in the vicinity of the subject parcel.

Please see the Bohler Stormwater Management Report for details.

Therefore, this Rule is met.

### ***7:7-16.7 Vegetation***

The proposed landscaping plan on Sheets 14 and 15, with details on Sheet 16, provides plantings and tree preservation in excess of the regulatory requirements. The landscaping plan includes several native coastal species.

Therefore, this Rule is met.

### ***7:7-16.8 Air Quality***

The proposed mixed use retail proposed is not anticipated to adversely affect regional air quality. The nature of the development is such that vehicle trips regionally will likely be reduced by some factor. The reason behind this is the nature of a mixed use retail center. Customers travel and park without congestion and do several kinds of shopping and dining at one location. Specifically, customers shop for goods in one spot without making many trips. In addition to the resulting reduction in trips, the Department of Transportation is requiring the applicant to improve the intersection of Route 37 and Northampton Boulevard. This will enable the proposed development to comply with air quality standards.

### New Jersey State Implementation Plan

In general, the proposed facility will concentrate a degree of shopping and is expected to ultimately reduce traffic mileage per household. In the end, this will be a benefit to regional air quality.

Ozone – the backbone of the plan relies on inspection and vehicle maintenance. NJ put in place an enhanced plan. This development will not have a negative impact on the control of ozone emissions and is not in conflict with the NJ plan.

Sulfur dioxide – the use of low sulfur fuels ensures that the proposed facility will not adversely impact air quality in the region and will not be in conflict with the NJ plan to meet EPA air quality standards.

Nitrogen dioxide – automobile inspections and maintenance ensure the continued compliance with EPA requirements. The project will be neutral with respect to oxides of nitrogen.

Carbon monoxide – again the NJ plan emphasizes maintenance with respect to compliance with EPA requirements and the proposed facility will not adversely impact the plan.

Lead – the removal of lead from gasolines assures that the project will be in compliance with the NJ SIP. The project will not increase emissions of lead to the atmosphere.

Visibility – There is no reason believe that any element of the proposed development will decrease visibility in the area so long as the vehicle inspection and maintenance programs are in place. In a related matter, power sources for heating/cooling/electricity on site will not emit significant particulates to impair visibility.

Therefore, this Rule is met.

#### ***7:7-16.10 Scenic Resources and Design***

Existing land use in the immediate vicinity of the Project site consists of commercial service and retail establishments. There are no residential uses located on the south side of Route 37 in the immediate vicinity of the property. The project is therefore compatible with the adjoining uses in terms of building and site design.

Therefore, this Rule is met.

#### ***7:7-16.11 Buffers and Compatibility of Uses***

The proposed retail development is clearly compatible with other sites in the Toms River RHB (rural highway business) and Manchester HD-3 (highway development) zones. Plantings will be provided along Route 37, Northampton Boulevard and the access driveways.

Therefore, this Rule is met.

#### **7:7-16.12 Traffic**

Orth-Rodgers & Associates, Inc. (ORA) prepared a traffic impact statement for the proposed development which identified trip generation numbers, a distribution model, and a list of locations to be analyzed. NJDOT issued an Access Conforming Lot Permit (A-37-C-C059-2009) and an Access Street Intersection Permit (S-37-C-0017-2009) to allow driveway access from the site to Route 37. These permits are currently valid.

In accordance with N.J.A.C. 7:7-16.12 Traffic rule, a traffic impact statement had been prepared by Orth-Rodgers Associates, Inc. This report was previously submitted.

Therefore, this Rule is met.

### **10.0 COMPLIANCE WITH N.J.S.A. 13:19-10**

#### **7:7-23.6(b) Additional Requirements for an Individual Permit**

The proposed development will add aesthetic value, provide environmental controls, and contribute to the economy of the area. The proposed development meets the conditions of N.J.A.C. 13:19-10 as follows:

*(a) Conforms with all applicable air, water, radiation emission, and effluent standards and all applicable water quality criteria and air quality standards.*

The proposed uses of the site will have no radiation emissions and no permitted air emissions. Effluents will consist of stormwater and sewage wastes. Stormwater management, as proposed, satisfies municipal, county, and NJDEP, NJDOT, and CAFRA criteria for peak runoff rates for various storm frequencies. The proposed system also meets NJDEP criteria for ground water recharge, water quality, and TSS removal. Sewage wastes will be handled by the existing sanitary system.

*(b) Prevents air emissions and water effluents in excess of the existing dilution, assimilative, and recovery capacities of the air and water environments at the site and within the surrounding region.*

As noted, the proposed use of the site will have no air emissions requiring permitting. Changes in traffic flow and Levels of Service have the potential to increase automobile emissions, and this will be discussed in the full traffic study. The Stormwater Management Report concludes that "the proposed development will not adversely impact the existing drainage system."

*(c) Provides for the collection and disposal of litter, recyclable material, and solid waste in such a manner as to minimize adverse environmental effects and threats to the public health, safety,*

*and welfare.*

Active use of the site as proposed will provide for the collection and disposal of litter, recyclable materials, and solid waste in a manner that is consistent with the appropriate regulations and beneficial to the public.

*(d) Would result in minimal feasible impairment of the regenerative capacity of water aquifers or other ground or surface water supplies.*

The proposed stormwater management system complies with NJDEP criteria for annual ground water recharge.

*(e) Would cause minimal feasible interference with the natural functioning of plant, animal, fish, and human life processes at the site and within the surrounding region.*

While any development will cause some impacts, the proposed development has been designed to minimize interference with the natural functioning of plant, animal and human life processes at the site and in the surrounding region. Every effort has been made to ensure the survival of the threatened northern pine snake in the region. In addition to permanently protecting over 70% of the Project site; over 170 acres of additional lands will be permanently protected. In addition to precluding development on about 220 acres, enhancement of pine snake habitat will occur at numerous locations. This will result in an overall enhancement to pine snake habitat in the region. The preserved lands are predominantly forested so significant habitat for migratory birds will also be protected.

*(f) Is located or constructed so as to neither endanger human life or property nor otherwise impair the public health, safety, and welfare.*

The proposed development mixed retail use is consistent with the zoning ordinances of Manchester and Toms River Townships, the state Development and Redevelopment Plan and the Pinelands Comprehensive Management Plan. Any necessary site remediation of the mitigation parcels will be done in conjunction with the development of the site.

*(g) Would result in minimal practicable degradation of unique or irreplaceable land types, historical or archeological areas, and existing public scenic attributes at the site and within the surrounding region.*

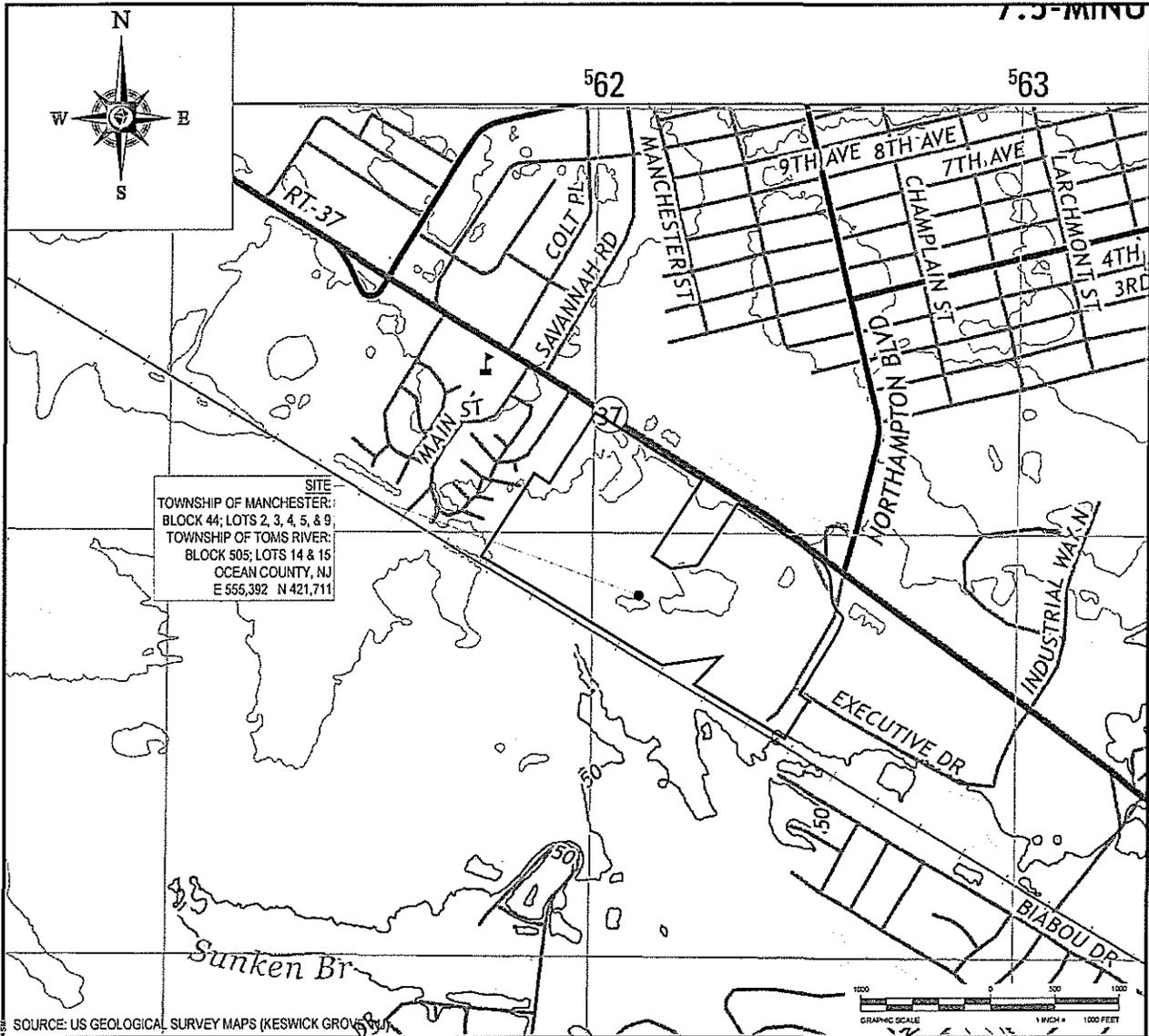
None of the lots which make up this project have been found to contain unique or irreplaceable land types, historical or archeological areas, and/or existing public scenic attributes. Since development of the Project site was first proposed, the development footprint has been continually reduced in order to minimize any degradation of any unique or irreplaceable land types. In addition, about 241 acres of land types comparable to the reduced area that will be disturbed will be permanently protected. The extensive existing development on both sides of Route 37 in the vicinity of the Project site minimize public scenic attributes at the Project site. The preservation of the mitigation parcels will protect the significant public scenic attributes of

these parcels.

**APPENDIX A**  
**FIGURES**







**SITE**  
 TOWNSHIP OF MANCHESTER:  
 BLOCK 44; LOTS 2, 3, 4, 5, & 9;  
 TOWNSHIP OF TOMS RIVER:  
 BLOCK 505; LOTS 14 & 15  
 OCEAN COUNTY, NJ  
 E 555,392 N 421,711

SOURCE: US GEOLOGICAL SURVEY MAPS (KESWICK GROVE, NJ)

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
 LAND DEVELOPMENT ENGINEERING  
 LANDSCAPE ARCHITECTURE  
 SURVEYING  
 ENVIRONMENTAL ENGINEERING  
 GEOTECHNICAL ENGINEERING  
 WATER RESOURCES ENGINEERING  
 TRAFFIC ENGINEERING  
 TRANSPORTATION ENGINEERING  
 UTILITY ENGINEERING  
 PORTAL ENGINEERING  
 PAVEMENT ENGINEERING  
 STRUCTURAL ENGINEERING  
 MARINE ENGINEERING  
 MARITIME ENGINEERING  
 MARITIME ARCHITECTURE  
 MARITIME SURVEYING  
 MARITIME TRANSPORTATION ENGINEERING  
 MARITIME UTILITY ENGINEERING  
 MARITIME WATER RESOURCES ENGINEERING  
 MARITIME WATER RESOURCES ARCHITECTURE  
 MARITIME WATER RESOURCES SURVEYING  
 MARITIME WATER RESOURCES TRANSPORTATION ENGINEERING  
 MARITIME WATER RESOURCES UTILITY ENGINEERING

REVISIONS		
REV	DATE	COMMENT

PROJECT No. JMT2004  
 DRAWN BY SLM  
 CHECKED BY ROK  
 DATE 11/20/07  
 SCALE AS SHOWN  
 CAD1D A112525-EE-00

**PRELIMINARY & FINAL SITE PLAN**  
 FOR  
**GRUNIN PROPERTIES**  
 LOCATION OF SITE  
 MANCHESTER TOWNSHIP  
 TOMS RIVER TOWNSHIP  
 NUSH RT#37 & NORTHAMPTON BLVD  
 OCEAN COUNTY, NEW JERSEY

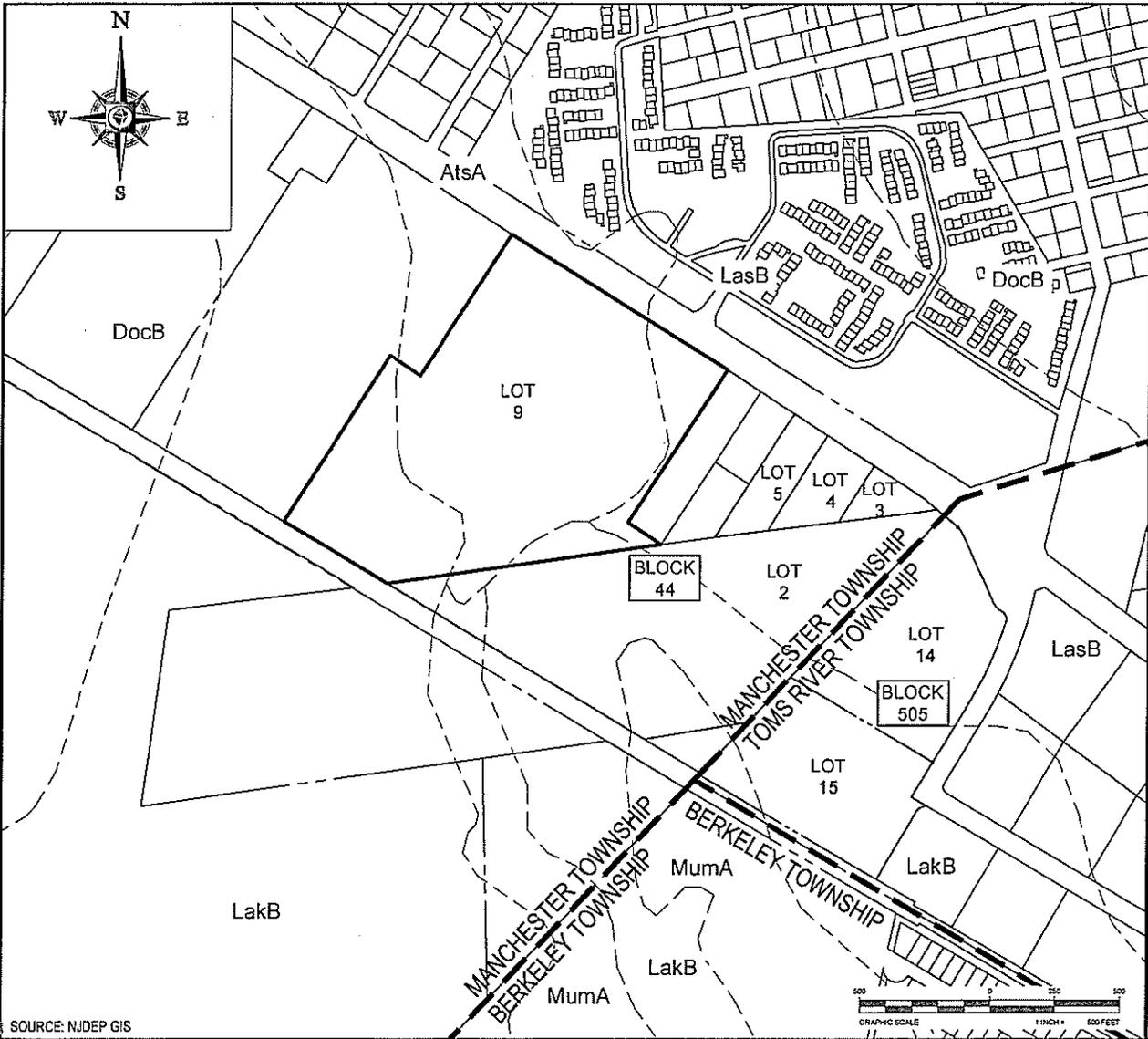
**BOHLER ENGINEERING**  
 305 FELLOWSHIP ROAD, SUITE 210  
 MOUNT LAUREL, NJ 08054  
 Phone: (855) 930-4200  
 Fax: (855) 930-4201  
 www.BohlerEngineering.com  
 NJ STATE OF AUTHORITY NO. 24282-10178

**FIGURE**  
 A-3

SHEET TITLE  
**USGS SITE LOCATION MAP**

SHEET NUMBER  
 3 OF 8





**BOHLER ENGINEERING**

BOHLER ENGINEERING, INC.  
 305 FELLOWSHIP ROAD, SUITE 210  
 MOUNT LAUREL, NJ 08054  
 Phone: (856) 920-4500  
 Fax: (856) 920-4501  
 www.BohlerEngineering.com  
 NJ STATE OF AUTHORITY: 04-18-00221-1178

BOHLER ENGINEERING, INC. IS AN EQUAL OPPORTUNITY EMPLOYER.  
 WE EMPLOY AND CONTRACT WITH INDIVIDUALS OF ALL RACES, ETHNICITIES, GENDERS, RELIGIONS, NATIONALITIES, AND DISABILITIES.

**REVISIONS**

REV	DATE	COMMENT	BY

PROJECT No: JMT10250  
 DRAWN BY: SJA  
 CHECKED BY: SJA  
 DATE: 11/20/2017  
 SCALE: AS SHOWN  
 CAD ID: JMT10250-E-04

**PROJECT PRELIMINARY & FINAL SITE PLAN FOR GRUNIN PROPERTIES**

LOCATION OF SITE  
 MANCHESTER TOWNSHIP  
 TOMS RIVER TOWNSHIP  
 HIGH RT#37 & NORTHAMPTON BLVD  
 OCEAN COUNTY, NEW JERSEY

**BOHLER ENGINEERING**

305 FELLOWSHIP ROAD, SUITE 210  
 MOUNT LAUREL, NJ 08054  
 Phone: (856) 920-4500  
 Fax: (856) 920-4501  
 www.BohlerEngineering.com  
 NJ STATE OF AUTHORITY: 04-18-00221-1178

**FIGURE A-5**

SHEET TITLE  
**NRCS SOILS MAP**

SHEET NUMBER  
 5 OF 6



**APPENDIX B**  
**AGENCY APPROVALS**

STATE OF NEW JERSEY  
DEPARTMENT OF ENVIRONMENTAL PROTECTION



(See Issuing Division below)

**PERMIT\***



<p>The New Jersey Department of Environmental Protection grants this permit in accordance with your application, attachments accompanying same application, and applicable laws and regulations. This permit is also subject to the further conditions and stipulations enumerated in the supporting documents which are agreed to by the permittee upon acceptance of the permit.</p>		
<p>Permit No. 1500-04-0001.3 CAF160001</p>		<p>Application No. 1500-04-0001.3 CAF160001</p>
<p>Issuance Date <b>SEP 14 2016</b></p>	<p>Effective Date <b>SEP 14 2016</b></p>	<p>Expiration Date <b>SEP 13 2021</b></p>
<p><b>Name and Address of Applicant</b> Jaylin Holdings, LLC c/o Grunin Properties Dover Esplanade, Building 1 1027 Hooper Avenue Toms River, NJ 08753</p>	<p><b>Name and Address of Owner</b> Applicant</p>	<p><b>Name and Address of Operator</b> Applicant</p>
<p><b>Location of Activity/Facility (Street Address)</b> Route 37 &amp; Northampton Boulevard Toms River Township, Ocean County Lots: 14 &amp; 15 Block: 505 Manchester Township, Ocean County Lots: 2, 3, 4, 5, 9; 3 Blocks: 44; 75.01</p>	<p><b>Issuing Division</b> Land Use Regulation</p>	<p><b>Statute(s)</b> NJSA 13:19-1</p>
<p>Type of Permit: CAFRA Individual Permit</p>		<p>Maximum Approved Capacity, if applicable</p>
<p>This permit authorizes the construction of a 193,240 SF Walmart retail store that includes a water tower, a seasonal garden center, retaining walls, a stormwater management system, access from Route 37 and Northampton Boulevard and a parking area which will accommodate 774 vehicles (the "Project"). The Project is shown on the approved plans referenced on page 3 of this permit.</p> <p>This permit is authorized under and in compliance with applicable Rules on Coastal Zone Management (N.J.A.C. 7:7-1.1 et seq.) provided the conditions listed are met. The Division of Land Use Regulation ("DLUR") hereby determines that the applicable findings as required by Sections 10 &amp; 11 of the CAFRA statute (N.J.S.A. 13:19-1 et seq.) and the Rules on Coastal Zone Management have been met. The issuance of this permit is contingent upon compliance with the listed conditions and failure to comply with any or all conditions may result in appropriate enforcement action and revocation of this permit.</p>		
<p>Revised Date</p>	<p>Approved by the Department of Environmental Protection</p> <p>Name (Print or Type) _____ DRAFT _____ Title _____</p> <p>Signature _____ DRAFT _____ Date _____</p>	

\*The word permit means "approval, certification, registration, etc." (General Conditions are on Page Two)

### STANDARD PERMIT CONDITIONS

1. The issuance of the permit shall not be deemed to affect in any way action by the Department of Environmental Protection of the State of New Jersey on any future application.
2. The works, facilities, and/or activities shown by plans and/or other engineering data, which are this day approved, subject to the conditions herewith established, shall be constructed and/or executed in conformity with such plans and/or engineering data and the said conditions.
3. No change in plans or specifications shall be made except with the prior written permission of the Department of Environmental Protection of the State of New Jersey.
4. The granting of this permit shall not be construed to in any way affect the title or ownership of property, and shall not make the Department of Environmental Protection or the State a party in any suit or question of ownership.
5. This permit does not waive the obtaining of Federal or other State or local government consent when necessary. This permit is not valid and no work shall be undertaken until such time as all other required approvals and permits have been obtained.
6. A copy of this permit shall be kept at the work site, and shall be exhibited upon request of any person.
7. In cases of conflict, the conditions of this permit shall supersede the plans and/or engineering data.
8. The permittee shall allow an authorized representative of the Department of Environmental Protection the right to inspect construction pursuant to N.J.A.C. 7:7-27.2(c)13.
9. In accordance with N.J.A.C. 7:7A-1.7, any person who is aggrieved by this decision may request a hearing within 30 days after notice of the decision is published in the DEP Bulletin by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, 401 East State Street, PO Box 402, Trenton, NJ 08625-0402. This request must include a completed copy of the Administrative Hearing Request Checklist. If a person submits the hearing request after this time, the Department shall deny the request. The DEP bulletin and checklist are available through the Department's website at [www.state.nj.us/dep](http://www.state.nj.us/dep).

### ADMINISTRATIVE PERMIT CONDITIONS

1. This permit shall be RECORDED in the office of the Ocean County Clerk within ten (10) days after receipt of the permit by the applicant and the Applicant shall immediately send documentation of its recordation to the DLUR.
2. The following approved plans were prepared by Bohler Engineering and are hereafter referred to as the "Revised Plans":
  - "PRELIMINARY AND FINAL SITE PLAN AND MINOR SUBDIVISION FOR PROPOSED WALMART (STORE #1844-05), BLOCK 44, LOTS 2, 3, 5, 9 AND PART OF 4, MANCHESTER TOWNSHIP (TAX MAP SHEETS 7.02, 8 & 9); BLOCK 505, LOTS 14 & 15, TOMS RIVER TOWNSHIP (TAX MAP SHEET 54), NJSH RT#37 & NORTHAMPTON BLVD., OCEAN COUNTY, NEW JERSEY", all sheets (1-32) are dated April 8, 2016. Sheets 3 & 6 were last revised on September 14, 2016 and sheets 1-2, 4-5, 7-32 were last revised on August 10, 2016.
  - "TREE MANAGEMENT PLAN", two sheets, dated December 11, 2015.
  - "DEVELOPMENT / CONSERVATION AREA PLAN" dated September 9, 2016.

**Jaylin Holdings, LLC - Walmart**

- "WETLANDS MITIGATION PLAN" originally dated June 26, 2009, revised through November 2, 2011.
- "OVERALL SITE PLAN", sheet 5 of 29, depicting wire exclusion fencing revised through November 9, 2011. This plan is approved for the installation of the exclusion fence during the construction phase only.

**PRE-CONSTRUCTION / PROJECT SPECIFIC PERMIT CONDITIONS**

- I. Within (30) days of permit issuance, and prior to the start of any site disturbance, pre-construction earth movement or construction for the Project, and as more fully set forth in the December 20, 2011 Settlement Agreement which is incorporated herein and made a part hereof ("Settlement Agreement"), the owner of the property shall grant to the Department a conservation restriction approved in advance in writing by the DLUR. The lands subjected to the conservation restriction shall be free of all buildings, dwellings, tenants, billboards and easements, including access easements, covenants, mortgages, liens, encumbrances, judgements, tax liens, outstanding taxes and any other instruments except for a cable easement granted to AT&T recorded May 21, 2009 in Deed Book 14300, page 1267 and following, and utility easements granted to Jersey Central Power and Light Company recorded in Book 2676, page 343; Book 2898, page 152; and Book 1277, page 305; and all of said lands shall be insurable at regular rates by a licensed and reputable New Jersey title company on the Department's Green Acres list. The lands subjected to the conservation restrictions shall include:
  - a. Block 77, Lot 27 (approximately 11.3 acres); Block 73, Lots 31 & 32 (approximately 42.9 acres); Block 73, Lot 21 (approximately 15.8 acres); and Block 73, Lot 3 & 4 (approximately 11.6 acres), located in the Township of Manchester, Ocean County.
  - b. Block 77, Lots 2, 4, 5 and 6 (approximately 89.29 acres) located in the Township of Manchester, Ocean County.
  - c. Block 75.01, Lot 3 (approximately 21 acres) located in the Township of Manchester, Ocean County.
    - \* Hereafter, subparagraphs 1a-c shall be referred to as the "Protected Lands".
  - d. Those portions of lots 14 and 15 of block 505 of the official 2011 Toms River tax map and lots 2, 3, 4, 5 and 9 of block 44 of the official Manchester Township tax map where no development is proposed, which total approximately 50.197 acres shall be maintained as a permanent conservation restriction pine snake corridor area (hereafter, the Paragraph 1d Lots). This is an additional 29.297 acres as to what was previously approved.
  - e. All lands with conservation restrictions shall include a reverter clause which provides for reversion of such conservation restriction to the Permittee or record owner (If not Permittee), if the issuance of the permit by the Department is overturned on appeal or if the Department otherwise precludes development of the Project pursuant to Paragraph 7 of the Stipulation of Settlement. However, if any person has commenced any site disturbance, pre-construction earth movement or any construction for the Project, or if any of the Protected Lands have been disturbed, except for the removal of waste, pollutants and contaminants or for habitat enhancement, all such reverter clauses shall lapse and expire.
  - f. Within (30) days of issuance of the Permit, the Owner or Permittee shall provide proof to DLUR of recordation of the conservation restrictions for the Protected Lands and the Paragraph 1d Lots, respectively. Within (10) days of its receipt, the Owner or Permittee shall deliver to the DLUR complete copies of the recorded conservation restrictions.

**Jaylin Holdings, LLC - Walmart**

2. The Permittee shall remove all waste, pollutants and contaminant materials identified by Whitestone Associates and the Department on, above, below and throughout the Protected Lands and the Paragraph 1d Lots to be conveyed to the Department and conserved for pine snake protection and/or enhancement, respectively. Upon the Department's review and approval that all waste, pollutants and contaminants have been satisfactorily removed, the Department shall issue to the Permittee a letter to said effect.
  - a. The Permittee shall ensure that all soils shall be at or below the numeric concentrations needed to meet Residential Cleanup standards, N.J.A.C. 7:26E-1 et seq., that is Remediation Standards, N.J.A.C. 7:26D-1 et seq., including, but not limited to, Residential Cleanup Standards for waste, contaminants and pollutants throughout the Protected Lands and the Paragraph 1d Lots, respectively. Further, all groundwater shall be at or below the numeric concentrations for all applicable standards for waste, pollutant and contaminant requirements as defined in N.J.A.C. 7:26E-1.8 and the Groundwater Quality Standards, N.J.A.C. 7:9C-1 et seq.
  - b. Adequate removal of waste, pollutants and contaminant materials identified on, above, below and throughout the Protected Lands and the Paragraph 1d Lots shall be completed, so that once the pine snake habitat enhancement is completed, there is no need to subsequently disturb the pine snake habitat enhancements.
  - c. In addition, prior to commencing the construction of the Project as defined in paragraph 4 below, Permittee shall either complete the required remediation or establish and maintain a remediation funding source in an amount acceptable to the Department through the use of one of the instruments defined in N.J.A.C. 7:26C-5.2(f)1, 2, 3 or 4.
3. Any and all clearing of trees and vegetation shall only occur from August 1<sup>st</sup> through March 31<sup>st</sup>, except for clearing associated with the pine snake enhancements.
4. Prior to site disturbance, pre-construction earth movement or construction, and in accordance with the Settlement Agreement, the Permittee shall undertake and complete all pine snake habitat enhancement as follows:
  - a. Permittee shall first complete all pine snake enhancements for the Protected Lands, except for the planting of saplings which shall be undertaken and completed in the next spring planting season;
  - b. Upon completion of the pine snake enhancements for the Protected Lands, Permittee shall then complete all pine snake enhancements on the Paragraph 1d Lots;
  - c. Pursuant to the deadlines set forth in the Settlement Agreement, the Permittee shall seek notice from the Endangered and Nongame Species Program (ENSP) and DLUR whether the pine snake enhancements have been satisfactorily completed.
5. Subject to the timing restriction referenced in Project Specific Condition #3 above, Permittee shall next install and complete the Herpetofauna Fence (as defined in the Settlement Agreement) on the Paragraph 1d Lots and then install and complete the linear barrier wall as shown on the Revised Plans, including the Development/Conservation Area Plan, dated October 6, 2011:
  - a. The clearance width for the Herpetofauna Fence shall be no more than twenty feet, that is, no more than ten feet on either side of the center line of the fence.
  - b. Upon the start of the installation of the Herpetofauna Fence, Permittee shall retain a qualified herpetologist who shall conduct daily site inspections of the Herpetofauna Fence, linear barrier wall and stormwater basin and their associated clearing on the construction side and monitor, protect and remove to the habitat side all reptiles found on the construction side of the Herpetofauna Fence and on both sides of the linear barrier wall.

**Jaylin Holdings, LLC - Walmart**

- c. Upon completion of the linear barrier wall, but no later than the issuance of a temporary certificate of occupancy for the Project, the Permittee shall remove the Herpetofauna Fence.
- d. The Permittee's herpetologist shall continue to conduct the daily site inspections until clearing has been completed on the construction side of the linear barrier wall.
- e. No more than ten days before clearing, preconstruction earth movement, site disturbance or construction of the Project, a qualified herpetologist shall conduct a thorough survey of the entire Development Area on the construction side of the linear barrier wall and shall remove all reptiles to the habitat side of the linear barrier wall.

The Department reserves the right to immediately revoke or suspend all regulated activities onsite should the Department determine that the Permittee has not taken proper precautions to ensure continuous compliance with this condition.

6. Subject to the timing restriction referenced in Project Specific Condition #3 above, upon the completion of all pine snake enhancements throughout the Protected Lands and the Paragraph 1d Lots except for the planting of saplings, the completion of the Herpetofauna Fence and linear barrier wall, and subject to the Settlement Agreement's requirements regarding notice of satisfactory completion thereof, the Permittee may then start pre-construction earth movement, site disturbance, and construction of the Project, in the development area, as authorized by this permit.
7. Upon completion of the Herpetofauna Fence and subject to the timing restriction referenced at Project Specific Condition #3 above, the Permittee is authorized to: construct the 1-acre freshwater wetlands mitigation area; create the stormwater basin #1 on the construction side of the Herpetofauna Fence; and place excavated material from stormwater basin #1 or the wetlands mitigation area in the Development Area adjacent to the proposed location of the linear barrier wall.
  - a. Prior to any site disturbance, pre-construction earth movement, or filling of the isolated freshwater wetlands and associated transition areas in the Development Area, the Permittee shall construct and vegetate the vernal pool as shown on the "WETLANDS MITIGATION PLAN" revised through November 2, 2011.
  - b. The Permittee may only start site disturbance, pre-construction earth movement, or construction of the vernal pool after the Permittee has submitted and the Department has approved all of the documentation and plans required pursuant to the issuance of this permit.
8. In accordance with the Settlement Agreement, if ENSP or DLUR identifies deficiencies in the pine snake habitat enhancements, linear barrier wall, herpetofauna fence, or vernal pond mitigation and the Permittee either does not dispute the deficiencies or disputes the deficiencies and a determination is made by the Commissioner, and the Permittee fails either to correct any undisputed deficiency or to start to physically comply with any determination of the Commissioner concerning a disputed deficiency within ten (10) business days of receipt of the Commissioner's determination, then said failure to correct or to start to comply shall be considered a material breach and shall void this permit.
9. Prior to site disturbance, pre-construction earth movement, or construction of the Project, the Permittee shall deposit in an escrow account the full sum of \$70,911 which shall be used by the Department to ensure successful project completion and ongoing monitoring and maintenance of the enhanced pine snake habitat, and in a second escrow account, a refundable sum of \$15,344 for the completion of the sapling planting costs, respectively.
10. Upon the commencement of site disturbance, pre-construction earth movement and construction of the Project, the Owner shall simultaneously convey to the Department via affidavits of title with the appropriate corporate or partnership authorizing resolutions and via Bargain and Sale Deeds with

**Jaylin Holdings, LLC - Walmart**

Covenants Against Grantor's Acts for any or all of the Protected Lands, which the Department in its sole discretion, may determine to acquire. The Department may defer conveyance of any portion of the Protected Lands, if it determines that adequate site remediation and clean-up has not been concluded for that portion of the Protected Lands. Upon the Department's issuance of a notice to the Owner of the Protected Lands requesting fee simple conveyance, said Owner shall convey said lands within thirty (30) days if said lands were not conveyed at the commencement of site disturbance, pre-construction earth movement or construction of the Project.

11. In accordance with the Settlement Agreement and prior to site disturbance, pre-construction earth movement, or construction of the Project, the Wetland Mitigation Plan, for the vernal pool, last revised on November 2, 2011, must be constructed. No filling of any wetlands is permitted until such time that the mitigation project has satisfactorily been constructed in its entirety and the Department has issued its letter pursuant to the procedures and deadlines set forth in the Settlement Agreement that the pond has been satisfactorily constructed pursuant to the November 2, 2011 Wetlands Mitigation Plan.
  - a. At least ten (10) business days in advance of the start of construction of the approved wetland mitigation project, the Permittee shall notify the DLUR, in writing, to request an on-site pre-construction meeting between the Permittee, the contractor, the consultant and the DLUR;
  - b. Following the final grading of the mitigation project, the Permittee shall notify the DLUR for a post-grading construction meeting between the Permittee, contractor, consultant and the DLUR. The Permittee must give the DLUR at least ten (10) business days notice prior to the date of this meeting;
  - c. The Permittee shall assume all liability for accomplishing corrective work should the DLUR determine that the constructed mitigation project was not constructed in accordance with the approved November 2, 2011 Wetlands Mitigation Plan. Remedial work may include re-grading, replanting and/or alteration of hydrology of the mitigation site. Pursuant to the procedures and deadlines set forth in the Settlement Agreement, the Permittee shall seek approval from the Department that the vernal pond has been constructed in accordance with the approved plans.
12. Within 30 days following the post-grading construction meeting, the Permittee shall submit a "Mitigation Plan Construction Completion Report" to the DLUR detailing as-built conditions (see below) and any changes to the approved mitigation plan that were made during construction. The report shall contain, at a minimum, the following information:
  - a. A completed "Wetland Mitigation Project Completion of Construction Form" (located at <http://www.nj.gov/dep/landuse/forms/index.html>) to certify that the mitigation project has been constructed as designed and that the proposed vernal habitat has been successfully constructed;
  - b. A copy of the approved plan if the mitigation project was built in strict accordance with said plan, or an as-built plan(s) if revisions or alterations were required or occurred, which in either case depicts final grade elevations at one foot contours, includes a table of the species and quantities of vegetation that were planted including any grasses that may have been used for soil stabilization purposes, and depicts the locations of structural components intended to serve critical life functions of the target species of herpetofauna;
  - c. Photos of the constructed wetland mitigation project with a photo location map as well as the GPS waypoints in NJ state plane coordinates NAD 1983.
  - d. Pursuant to the deadlines set forth in the Settlement Agreement, the Permittee may seek notice from DLUR that the vernal pond construction has been satisfactorily constructed in accordance with the approved plans.

**Jaylin Holdings, LLC - Walmart**

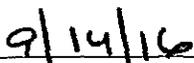
13. Subject to complete construction of the vernal pond and pursuant to the Settlement Agreement, the Permittee may start site disturbance, pre-construction earth movement and construction of the Project. However, the Permittee shall monitor the wetland mitigation project for 5 full growing seasons beginning the year after the mitigation project has been completed. The Permittee shall submit monitoring reports to the Director of the DLUR no later than December 31st of each full monitoring year.

All monitoring reports must include the standard items identified in the checklists entitled Mitigation Project Monitoring Reports: Checklist for Completeness, located at <http://www.nj.gov/dep/landuse/forms/index.html>.

14. Once the required monitoring period for the mitigation project has expired and the Permittee has submitted the final monitoring report, the DLUR shall determine whether the mitigation project is either a success or a failure. This mitigation project will be considered successful if the Permittee demonstrates all of the following:
- a. That the goals of the wetland mitigation project, including creation of desired hydroperiod, demonstrated use and evidence of reproductive activity by target species of herpetofauna, required acreage of wetlands, transition areas, and critical terrestrial habitat, as stated in the approved wetland mitigation proposal and the permit, have been satisfied;
  - b. The site has an 85 percent survival and 85 percent area coverage of the mitigation plantings or hydrophytes which are species native to the area and similar to ones identified on the mitigation planting plan;
  - c. The final monitoring report must include documentation demonstrating the site is less than 5 percent occupied by invasive or noxious species such as but not limited to (Source: Snyder, David and Sylvan R. Kaufman. 2004. An overview of nonindigenous plant species in New Jersey. New Jersey Department of Environmental Protection, Division of Parks and Forestry, Office of Natural Lands Management, Natural Heritage Program, Trenton, New Jersey. 107 pages.): *Acer platanoides* (Norway Maple), *Ailanthus altissima*, (Tree of Heaven), *Allaria petiolo* (Garlic mustard), *Ampelopsis brevipedunculata* (Porecelain berry), *Artemisia biennis* (Biennial wormwood) *Artemisia vulgaris* (Mugwort or Common wormwood), *Berberis thunbergii* (Japanese barberry), *Berberis vulgaris* (Common barberry), *Carex kobomugi* (Japanese sedge), *Celastrus orbiculatus* (Asian Bittersweet), *Centaurea biebersteiniior maculosa* (Spotted knapweed), *Cirsium arvense* (Canadian thistle), *Dipsacus fillonum* (Wild teasel), *Dipsacus laciniatus* (Cut-leaf teasel), *Elaeagnus angustifolia* (Russian olive), *Elaeagnus umbellata* (Autumn olive), *Euonymus alata* (Winged spindletree), *Lespedeza cuneata* (Chinese bush-clover), *Ligustrum obtusifolium* (Japanese privet), *Ligustrum vulgare* (Common privet), *Lonicera japonica* (Japanese honeysuckle), *Lonicera morrowii* (Morrow's bush honeysuckle), *Lonicera tartarica* (Tartarian honeysuckle), *Lythrum salicaria* (Purple loosestrife), *Melilotus officinalis* (Yellow sweetclover), *Microstegium vimineum* (Japanese stiltgrass), *Myriophyllum spicatum* (Eurasian water-milfoil), *Phalaris arundinacea* (Reed canary grass), *Phragmites australis* (Common reed grass), *Polygonum cuspidatum* (Japanese knotweed), *Polygonum perfoliatum* (Mile-a-minute), *Potamogeton crispus* (Curly leaf pondweed), *Pueraria montana* (Kudzu), *Ranunculus ficaria* (Lesser celandine), *Rhamnus cathartica* (Common buckthorn), *Robinia pseudoacacia* (Black locust), *Rosa multiflora* (Multiflora rose), *Rubus phoenicolasius* (Wineberry), *Typha latifloia* (Broad-leaved cattail), *Typha angustifolia* (Narrowed leaved cattail);
  - d. The Permittee's mitigation requirement shall not be deemed to have been satisfied unless or until the DLUR confirms in writing via a Mitigation Completion Letter that the vernal habitat creation project satisfied the permit's vernal habitat mitigation requirement;

- e. If the mitigation project is considered a failure, the Permittee is required to submit a revised mitigation plan. That plan will describe the steps that will be taken to rectify the failed aspects of the Project. The revised mitigation plan shall be submitted within 30 days of receipt of the letter from the DLUR indicating the wetland mitigation project was a failure.
15. Additional development or other related construction unauthorized by this permit shall require either a modification to Freshwater Wetlands Permit #1500-04-0001.2 FWW090001 and/or CAFRA Permit #1500-04-0001.3 CAF160001, or most likely a new CAFRA and/or Freshwater Wetlands permit depending on the size and scope of the proposed development as well as the activity status of the existing CAFRA and/or Freshwater Wetlands permit.
16. The Department reserves the right to review and approve or to disapprove all future modifications or revisions required as the result of review by any local, county, State or Federal entity to ensure compliance with this permit and the applicable regulations.
17. Prior to site disturbance, pre-construction earth movement or construction of the Project, the Permittee shall obtain all other necessary local, County, State and Federal construction approval, including but not limited to Treatment Works Approval, Ocean County Soil Conservation District, Ocean County Planning Board, and Air Pollution Control permits.
18. This permit is revocable, or subject to modification or change at any time, pursuant to the applicable regulations, when in the judgement of the Department of Environmental Protection of the State of New Jersey such revocation, modification or change shall be necessary.
19. The applicant shall make specific arrangements to ensure the continuous maintenance and efficient operation of all proposed stormwater management measures onsite. This includes the inspection (and cleaning where necessary) of any and all constructed swales, basins, inlets, and mechanical treatment devices at least four times per year and after every major storm totaling 1 inch of rainfall or more, the use of appropriate soil conservation practices onsite, and any other reasonable effort required to maintain the stormwater management system in good working order.
20. The Department has determined that this project meets the requirements of the Stormwater Management rules at N.J.A.C. 7:8. Any future expansion or alteration of the approved stormwater management system, which would affect water quality, increase the rate or volume of stormwater leaving the site, affect the infiltration capacity on the site, or alter the approved low impact site design, shall be reviewed and approved by the Department prior to construction. This includes any proposed changes to the discharge characteristics of any basin, the construction of new inlets or pipes that tie into the storm sewer network and/or the replacement of existing inlets or pipes with structures of different capacity.
21. Please be advised that the authorization under the Freshwater Wetlands General Permit No. 6 issued on May 10, 2012, DLUR File No. 1500-04-0001.1 FWW090001, will expire on May 9, 2017. If the wetlands disturbance authorized under this permit is not complete by this date, a new permit will be required.

  
\_\_\_\_\_  
Colleen Keller  
Assistant Director  
Bureau of Coastal Regulation

  
\_\_\_\_\_  
Date





**GENERAL NOTES**

1. The contractor shall be responsible for providing all necessary permits and fees for the construction of the project.
2. The contractor shall be responsible for obtaining all necessary approvals from the relevant authorities.
3. The contractor shall be responsible for maintaining access to all existing utilities and structures.
4. The contractor shall be responsible for the safety of all workers and the public during the construction process.

Item No.	Description	Quantity	Unit	Price	Total
1	Excavation and backfill	100	cubic meters	10.00	1000.00
2	Concrete foundation	50	cubic meters	20.00	1000.00
3	Reinforcement steel	1000	kg	1.00	1000.00
4	Formwork	100	sqm	10.00	1000.00
5	Brickwork	1000	sqm	10.00	10000.00
6	Plaster and render	1000	sqm	5.00	5000.00
7	Painting	1000	sqm	2.00	2000.00
8	Roofing	100	sqm	10.00	1000.00
9	Sanitary ware	10	units	100.00	1000.00
10	Electrical wiring	1000	m	1.00	1000.00
11	Lighting fixtures	100	units	10.00	1000.00
12	Water supply system	100	m	10.00	1000.00
13	Drainage system	100	m	10.00	1000.00
14	Site preparation	1000	sqm	1.00	1000.00
15	Site cleanup	1000	sqm	1.00	1000.00

**1. GENERAL NOTES**

The contractor shall be responsible for providing all necessary permits and fees for the construction of the project. The contractor shall be responsible for obtaining all necessary approvals from the relevant authorities. The contractor shall be responsible for maintaining access to all existing utilities and structures. The contractor shall be responsible for the safety of all workers and the public during the construction process.

**2. MATERIALS**

All materials shall be of the highest quality and shall be supplied by the contractor. The contractor shall be responsible for providing all necessary materials and labor for the construction of the project. The contractor shall be responsible for the safety of all workers and the public during the construction process.

**3. CONSTRUCTION**

The contractor shall be responsible for the construction of the project in accordance with the specifications and drawings. The contractor shall be responsible for the safety of all workers and the public during the construction process. The contractor shall be responsible for maintaining access to all existing utilities and structures.

**4. PAYMENT**

The contractor shall be responsible for providing all necessary invoices and receipts for the construction of the project. The contractor shall be responsible for the safety of all workers and the public during the construction process.

**RESPONSE TABLE**

Item No.	Description	Response
1	Excavation and backfill	Approved
2	Concrete foundation	Approved
3	Reinforcement steel	Approved
4	Formwork	Approved
5	Brickwork	Approved
6	Plaster and render	Approved
7	Painting	Approved
8	Roofing	Approved
9	Sanitary ware	Approved
10	Electrical wiring	Approved
11	Lighting fixtures	Approved
12	Water supply system	Approved
13	Drainage system	Approved
14	Site preparation	Approved
15	Site cleanup	Approved

**1. GENERAL NOTES**

The contractor shall be responsible for providing all necessary permits and fees for the construction of the project. The contractor shall be responsible for obtaining all necessary approvals from the relevant authorities. The contractor shall be responsible for maintaining access to all existing utilities and structures. The contractor shall be responsible for the safety of all workers and the public during the construction process.

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**BOHLER ENGINEERING**

LAND SURVEYING, PROJECT MANAGEMENT, LANDSCAPE ARCHITECTURE, CIVIL ENGINEERING, STRUCTURAL ENGINEERING, MECHANICAL ENGINEERING, ELECTRICAL ENGINEERING, ENVIRONMENTAL ENGINEERING, CONSTRUCTION MANAGEMENT, PROJECT MANAGEMENT, CONSULTING SERVICES.

11, KEMUNING STREET, SINGAPORE 110119

TEL: 65 6335 8888

WWW.BOHLERENGINEERING.COM

PROPOSED

**Walmart**

WALMART STORE #1234567

11, KEMUNING STREET, SINGAPORE 110119

TEL: 65 6335 8888

WWW.WALMART.COM

PRELIMINARY AND FINAL SITE PLAN

PROJECT NO. 110119

DATE: 11/11/2019

SCALE: 1:100

DESIGNED BY: [Name]

CHECKED BY: [Name]

APPROVED BY: [Name]

NOTES

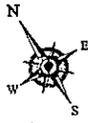
3

11/11/2019

REFER TO NOTES SHEET FOR ADDITIONAL DEMOLITION NOTES

CONTRACTOR SHALL CONTACT #11 FOR LOCATION OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

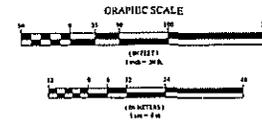
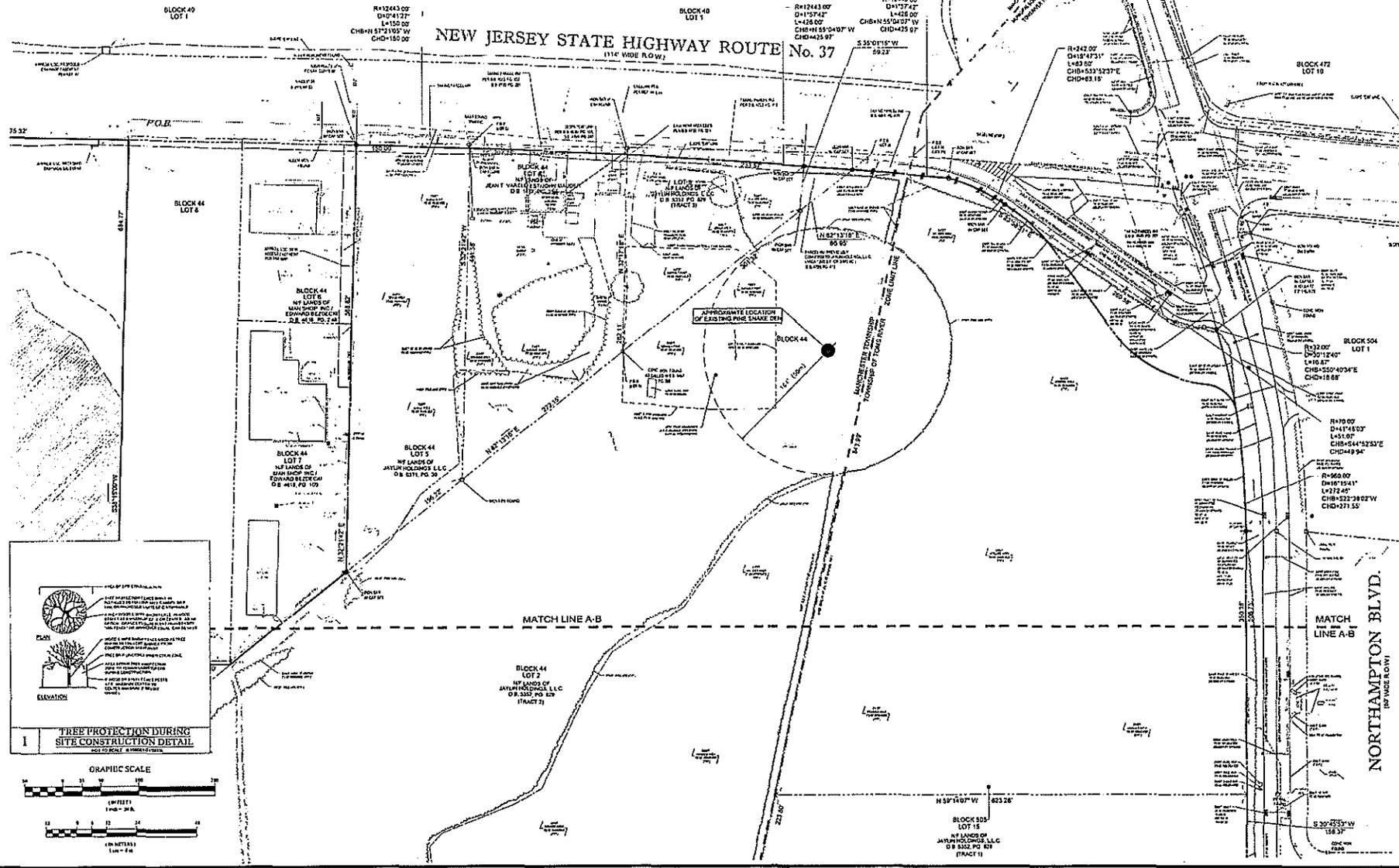
T.B.R. = TO BE REMOVED



ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.

**CONTRACTOR'S OBLIGATIONS**  
 1. CONTRACTOR SHALL REFER TO PROPOSED PRELIMINARY CONSTRUCTION PLAN BY OTHM AND ASSOCIATES INC FOR THE PROPOSED UTILITIES ASSOCIATED WITH HIGH ROUTE 37 IN NORTHAMPTON BLVD.  
 2. CONTRACTOR TO INSTALL THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.  
 3. REFER TO SOIL EROSION & SEDIMENT CONTROL PLAN SHEETS 1&2 & 3

**ALERT TO CONTRACTOR:**  
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE CITY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM C&E AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. C&E AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.



**BOHLER ENGINEERING**  
 100 NORTHAMPTON BLVD. SUITE 200  
 NORTHAMPTON, NJ 07858  
 PHONE: (609) 398-1111  
 FAX: (609) 398-1112  
 WWW.BOHLERENGINEERING.COM

REVISIONS	
NO.	DATE
1	07/12/12
2	07/12/12
3	07/12/12
4	07/12/12
5	07/12/12
6	07/12/12
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17	07/12/12
18	07/12/12
19	07/12/12
20	07/12/12

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT: PRELIMINARY AND FINAL SITE PLAN

FOR: PROPOSED Walmart (STORE #111429)

BLOCK 44 LOTS 3 & 4 & 5 & 6 & 7 & 8 & 9 & 10 & 11 & 12 & 13 & 14 & 15 & 16 & 17 & 18 & 19 & 20 & 21 & 22 & 23 & 24 & 25 & 26 & 27 & 28 & 29 & 30 & 31 & 32 & 33 & 34 & 35 & 36 & 37 & 38 & 39 & 40 & 41 & 42 & 43 & 44 & 45 & 46 & 47 & 48 & 49 & 50

DATE: 07/12/12

SCALE: AS SHOWN

PROJECT: PRELIMINARY AND FINAL SITE PLAN

**BOHLER ENGINEERING**  
 100 NORTHAMPTON BLVD. SUITE 200  
 NORTHAMPTON, NJ 07858  
 PHONE: (609) 398-1111  
 FAX: (609) 398-1112  
 WWW.BOHLERENGINEERING.COM

**G.B. MURRAY**  
 H.B. MURRAY  
 CIVIL ENGINEER  
 100 NORTHAMPTON BLVD. SUITE 200  
 NORTHAMPTON, NJ 07858  
 PHONE: (609) 398-1111  
 FAX: (609) 398-1112  
 WWW.GBMURRAY.COM

SHEET NO. **DEMOLITION PLAN 'A'**

SHEET NO. **4** OF **32**

REVISION: 06/19/13

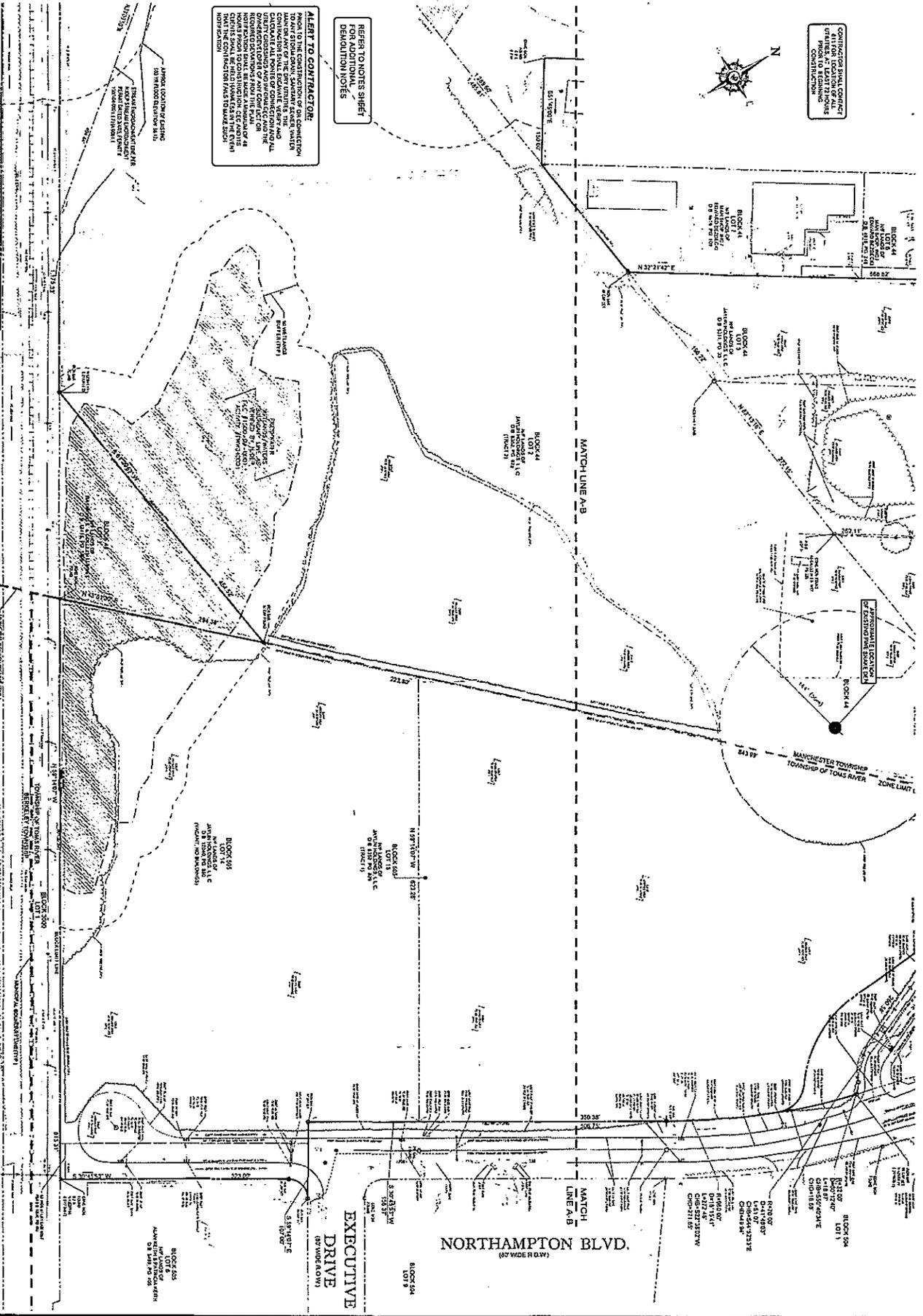
CONTRACTOR SHALL CONTACT  
OWNER FOR LOCATION OF ALL  
UTILITIES PRIOR TO EXCAVATION  
OR CONSTRUCTION



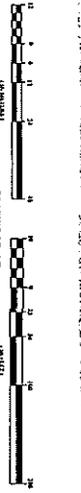
REFER TO NOTES SHEET  
DEMOLITION NOTES

**ALERT TO CONTRACTOR:**  
PRIOR TO THE CONSTRUCTION OF THE CONSTRUCTION  
MATERIALS AND METHODS SHALL BE REVIEWED AND  
APPROVED BY THE CITY ENGINEER. THE  
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL  
UTILITY DISRUPTIONS AND REPAIRS AND THE  
RECORD DRAWINGS FROM THE FIELD. THE  
OWNER SHALL BE RESPONSIBLE FOR THE FIELD  
WORK FROM CONSTRUCTION. SEE NOTES  
ON SHEET 1 FOR FURTHER INFORMATION.  
CONTRACTOR SHALL BE RESPONSIBLE FOR THE  
PROTECTION OF ALL UTILITIES AND THE  
ADJACENT PROPERTIES.

ALL EXISTING FEATURES ARE TO  
REMAIN UNLESS OTHERWISE NOTED.



CONRAIL  
ATAA CONTRACTORS INC. (P.A.)  
1700 CENTRAL BLVD. SUITE 100  
MILWAUKEE, WI 53212



CONTRACTOR SHALL BE RESPONSIBLE FOR THE  
PROTECTION OF ALL UTILITIES AND THE  
ADJACENT PROPERTIES. THE CONTRACTOR  
SHALL BE RESPONSIBLE FOR THE  
REPAIR AND RECONSTRUCTION OF ALL  
UTILITIES AND PROPERTIES DAMAGED  
DURING THE CONSTRUCTION. THE  
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THE PROTECTION OF ALL UTILITIES AND  
THE ADJACENT PROPERTIES. THE  
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UTILITIES AND PROPERTIES DAMAGED  
DURING THE CONSTRUCTION.

**BOHLER ENGINEERING**  
INCORPORATED  
1000 W. WISCONSIN ST.  
MILWAUKEE, WI 53233  
TEL: 414-224-1100  
FAX: 414-224-1101  
WWW.BOHLER-ENGINEERING.COM

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	10/1/2010	J. BOHLER	J. BOHLER
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			

**PROPOSED**  
Walmart  
1700 CENTRAL BLVD.  
MILWAUKEE, WI 53212  
TEL: 414-224-1100  
FAX: 414-224-1101  
WWW.WALMART.COM

**PERKINS AND  
SMITH**  
INCORPORATED  
1000 W. WISCONSIN ST.  
MILWAUKEE, WI 53233  
TEL: 414-224-1100  
FAX: 414-224-1101  
WWW.PERKINSANDSMITH.COM

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WWW.GBMURRAY.COM

**DEMOLITION  
PLAN #1**  
SHEET  
OF 5  
REVISIONS







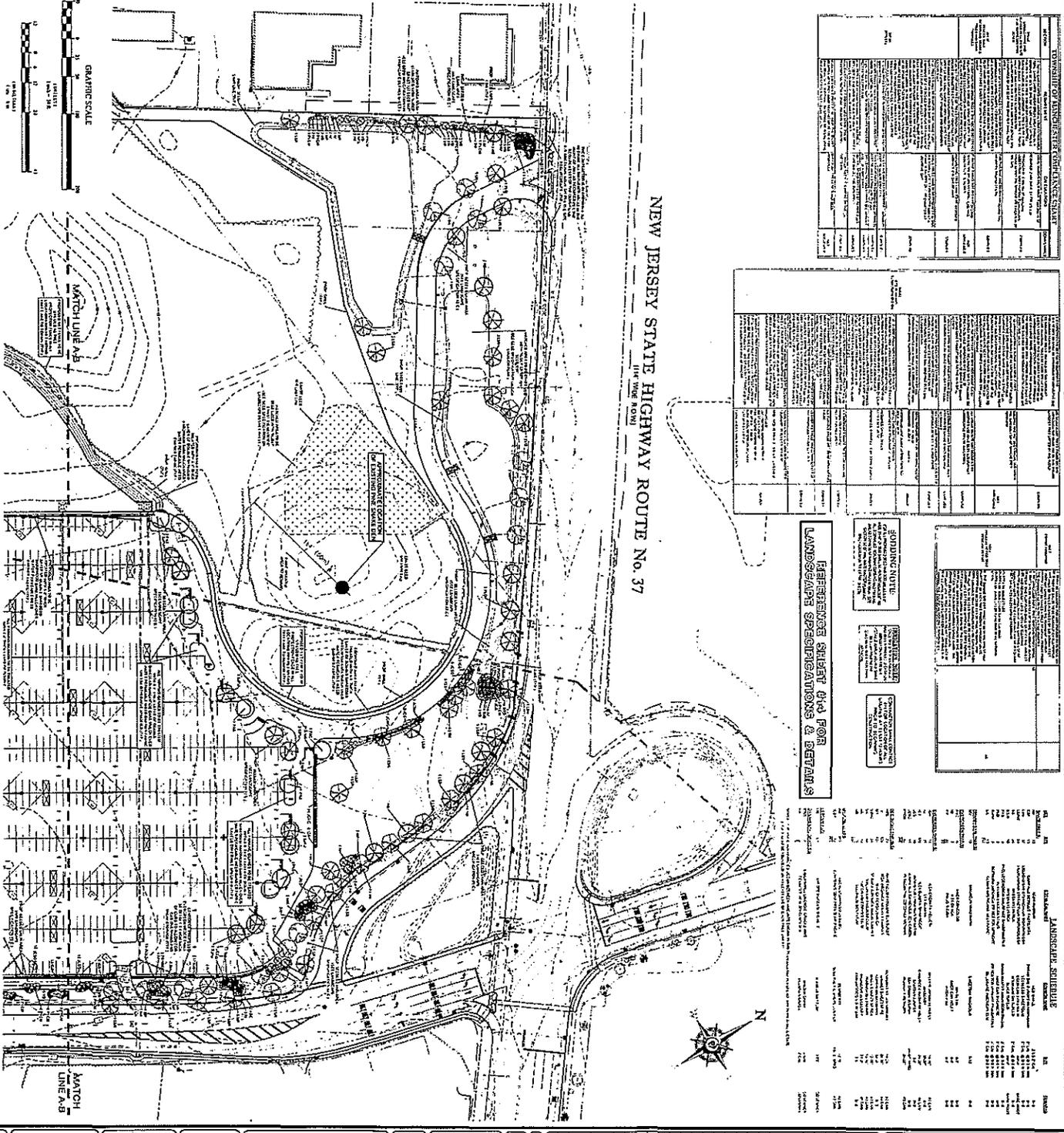








NO.	DESCRIPTION	DATE	BY	APPROVED BY
1	PRELIMINARY PLAN	10/15/11	J. BOHLER	G.S. DIBONA
2	REVISED PLAN	11/15/11	J. BOHLER	G.S. DIBONA
3	REVISED PLAN	12/15/11	J. BOHLER	G.S. DIBONA
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85	REVISED PLAN	10/15/18	J. BOHLER	G.S. DIBONA
86	REVISED PLAN	11/15/18	J. BOHLER	G.S. DIBONA
87	REVISED PLAN	12/15/18	J. BOHLER	G.S. DIBONA
88	REVISED PLAN	01/15/19	J. BOHLER	G.S. DIBONA
89	REVISED PLAN	02/15/19	J. BOHLER	G.S. DIBONA
90	REVISED PLAN	03/15/19	J. BOHLER	G.S. DIBONA
91	REVISED PLAN	04/15/19	J. BOHLER	G.S. DIBONA
92	REVISED PLAN	05/15/19	J. BOHLER	G.S. DIBONA
93	REVISED PLAN	06/15/19	J. BOHLER	G.S. DIBONA
94	REVISED PLAN	07/15/19	J. BOHLER	G.S. DIBONA
95	REVISED PLAN	08/15/19	J. BOHLER	G.S. DIBONA
96	REVISED PLAN	09/15/19	J. BOHLER	G.S. DIBONA
97	REVISED PLAN	10/15/19	J. BOHLER	G.S. DIBONA
98	REVISED PLAN	11/15/19	J. BOHLER	G.S. DIBONA
99	REVISED PLAN	12/15/19	J. BOHLER	G.S. DIBONA
100	REVISED PLAN	01/15/20	J. BOHLER	G.S. DIBONA



**BOHLER ENGINEERING**

1000 ROUTE 100, SUITE 100, HUNTSVILLE, AL 35894  
 TEL: 256-883-1111 FAX: 256-883-1112  
 WWW.BOHLERENGINEERING.COM

**PROPOSED**

**Walmart\***

PROPOSED SITE PLAN  
 1000 ROUTE 100, SUITE 100, HUNTSVILLE, AL 35894  
 TEL: 256-883-1111 FAX: 256-883-1112  
 WWW.BOHLERENGINEERING.COM

**G.S. DIBONA**

REGISTERED PROFESSIONAL ENGINEER  
 No. 44044, State of Alabama  
 1000 ROUTE 100, SUITE 100, HUNTSVILLE, AL 35894  
 TEL: 256-883-1111 FAX: 256-883-1112  
 WWW.BOHLERENGINEERING.COM

**BOHLER ENGINEERING**

1000 ROUTE 100, SUITE 100, HUNTSVILLE, AL 35894  
 TEL: 256-883-1111 FAX: 256-883-1112  
 WWW.BOHLERENGINEERING.COM

**LANDSCAPE PLAN 'A'**

13

REVISED PLAN

**BOHLER ENGINEERING**

1000 ROUTE 100, SUITE 100, HUNTSVILLE, AL 35894  
 TEL: 256-883-1111 FAX: 256-883-1112  
 WWW.BOHLERENGINEERING.COM

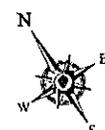




**LIGHTING NOTES:**

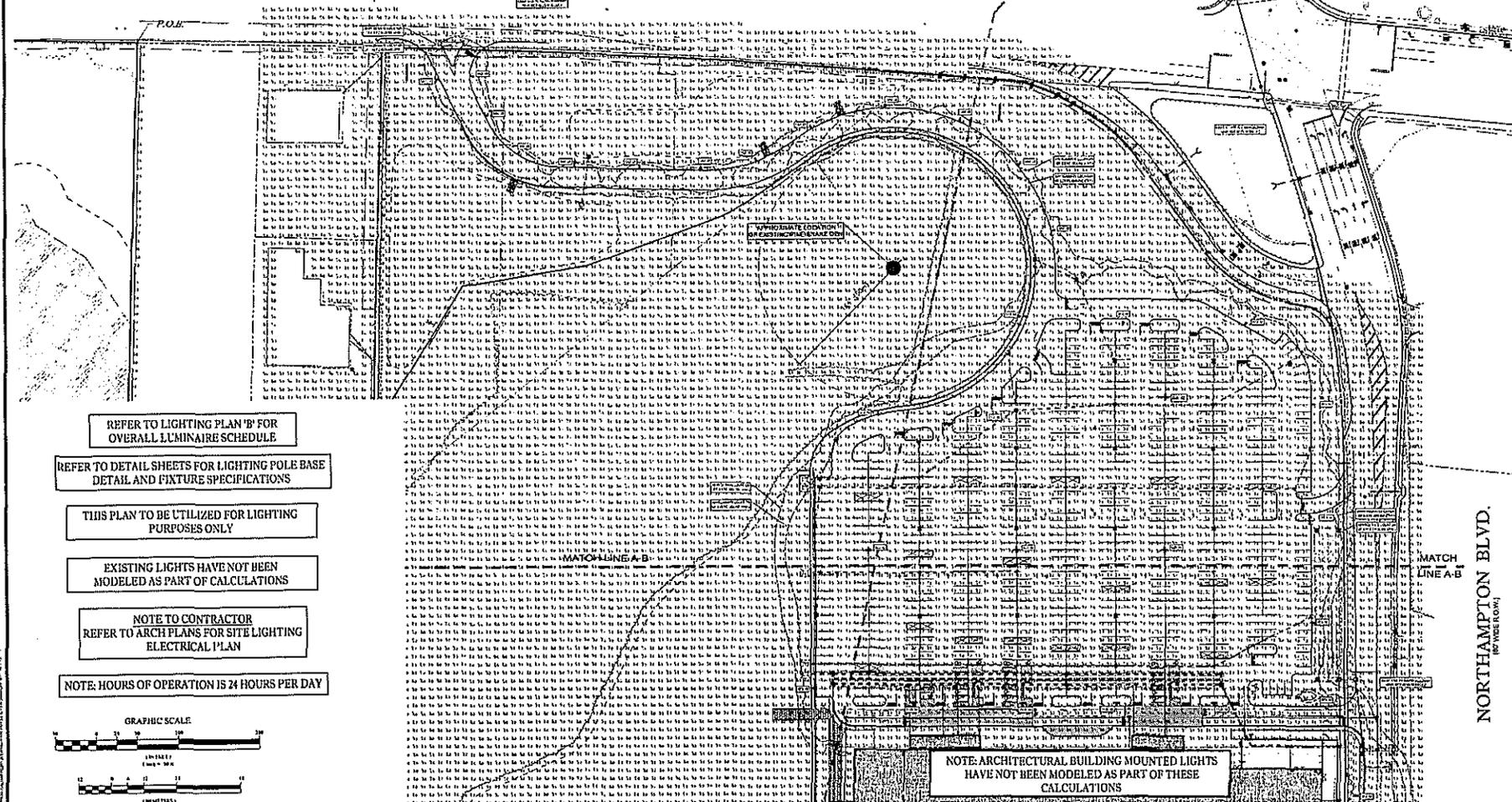
1. THIS LIGHTING PLAN IS A PRELIMINARY DESIGN. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

TOWNSHIP LIGHTING REQUIREMENTS				
MANCHESTER TOWNSHIP		TOWNSHIP OF MANCHESTER		
LOCATION	MINIMUM HEIGHT	MINIMUM SPACING	MINIMUM SPACING	MINIMUM SPACING
RESIDENTIAL	10 FT	30 FT	30 FT	30 FT
COMMERCIAL	12 FT	30 FT	30 FT	30 FT
INDUSTRIAL	15 FT	30 FT	30 FT	30 FT
PARKING	12 FT	30 FT	30 FT	30 FT
STREET LIGHTING	15 FT	30 FT	30 FT	30 FT



**NEW JERSEY STATE HIGHWAY ROUTE No. 37**  
(114' WIDE R.O.W.)

CONTRACTOR SHALL CONTACT  
UTILITY LOCATOR FOR ALL  
UTILITIES AT LEAST 72 HOURS  
PRIOR TO BEGINNING  
CONSTRUCTION



REFER TO LIGHTING PLAN 'B' FOR  
OVERALL LUMINAIRE SCHEDULE

REFER TO DETAIL SHEETS FOR LIGHTING POLE BASE  
DETAIL AND FIXTURE SPECIFICATIONS

THIS PLAN TO BE UTILIZED FOR LIGHTING  
PURPOSES ONLY

EXISTING LIGHTS HAVE NOT BEEN  
MODELED AS PART OF CALCULATIONS

NOTE TO CONTRACTOR  
REFER TO ARCH PLANS FOR SITE LIGHTING  
ELECTRICAL PLAN

NOTE: HOURS OF OPERATION IS 24 HOURS PER DAY



NOTE: ARCHITECTURAL BUILDING MOUNTED LIGHTS  
HAVE NOT BEEN MODELED AS PART OF THESE  
CALCULATIONS

**BOHLER ENGINEERING**  
Professional Engineering Firm  
1000 Northampton Blvd., Suite 100  
Northampton, NJ 07858  
Tel: 610-781-1000  
Fax: 610-781-1001  
www.bohler-engineering.com

REVISIONS	
NO.	DATE
1	08/15/17
2	08/15/17
3	08/15/17
4	08/15/17
5	08/15/17
6	08/15/17
7	08/15/17
8	08/15/17
9	08/15/17
10	08/15/17

ISSUED FOR MUNICIPAL &  
AGENCY REVIEW & APPROVAL

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Northampton, NJ 07858  
Tel: 610-781-1000  
Fax: 610-781-1001  
www.bohler-engineering.com

PRELIMINARY AND  
FINAL SITE PLAN

100 PROPOSED  
**Walmart**  
STORE #141-031  
BLOCK AND LOT 2 & 3  
BLOCKS 1073 & 1074  
TOWNSHIP OF MANCHESTER  
DELAWARE COUNTY NEW JERSEY

**BOHLER ENGINEERING**  
Professional Engineering Firm  
1000 Northampton Blvd., Suite 100  
Northampton, NJ 07858  
Tel: 610-781-1000  
Fax: 610-781-1001  
www.bohler-engineering.com

G.B. MURRAY  
Professional Engineer  
1000 Northampton Blvd., Suite 100  
Northampton, NJ 07858  
Tel: 610-781-1000  
Fax: 610-781-1001  
www.bohler-engineering.com

LIGHTING PLAN  
'A'  
16  
OF 22  
#175031 - 010101

**LIGHTING NOTES**

1. THE LIGHTING PLAN SHOWS PROPOSED LIGHTING FIXTURES AND LUMINAIRE SCHEDULES FOR THE PROPOSED WALMART STORE. THE LIGHTING PLAN IS BASED ON THE ASSUMPTIONS LISTED BELOW. THE LIGHTING PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

2. THE LIGHTING PLAN IS BASED ON THE ASSUMPTIONS LISTED BELOW. THE LIGHTING PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

3. THE LIGHTING PLAN IS BASED ON THE ASSUMPTIONS LISTED BELOW. THE LIGHTING PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

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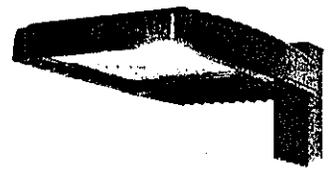
8. THE LIGHTING PLAN IS BASED ON THE ASSUMPTIONS LISTED BELOW. THE LIGHTING PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

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10. THE LIGHTING PLAN IS BASED ON THE ASSUMPTIONS LISTED BELOW. THE LIGHTING PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	MTD. HT.	DESCRIPTION	AMOUNT	LUMENS	LF/	IES FILENAME	CATALOG #	BUG RATING
E	5	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	5	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000
E	1	SA2,28	18'	GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT - 2x4x4 FT. 18" H. 18000 LUMENS	1	90,000	180	EASC_EVOLVE_18000	SA2,28,28,28,SF3,42,D3F3,42,TU3,42,Q15,42	90000

TOWNSHIP LIGHTING REQUIREMENTS			
MUNICIPALITY/TOWNSHIP		TOWNSHIP	
PER SECTION 2458 C. 6.0	PER SECTION 2458 C. 6.0	PER SECTION 2458 C. 6.0	PER SECTION 2458 C. 6.0
LOCATION	RESIDENTIAL	COMMERCIAL	INDUSTRIAL
MINIMUM FOOT CANDLE	1.0	2.0	3.0
MINIMUM LUX	10	20	30
MINIMUM FOOT CANDLE	1.0	2.0	3.0
MINIMUM LUX	10	20	30



GE EVOLVE EASC SERIES LED SCALABLE AREA LIGHT (SA2,28, SA3,28, SF3,42, D3F3,42, TU3,42, Q15,42) NOT TO SCALE

- THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY
- EXISTING LIGHTS HAVE NOT BEEN MODELED AS PART OF CALCULATIONS
- NOTE TO CONTRACTOR REFER TO ARCH PLANS FOR SITE LIGHTING ELECTRICAL PLAN
- NOTE: HOURS OF OPERATION IS 24 HOURS PER DAY
- REFER TO DETAIL SHEETS FOR LIGHTING POLE BASE DETAIL AND FIXTURE SPECIFICATIONS

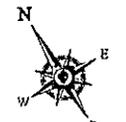
CONRAIL  
(A.K.A. CONSOLIDATED RAIL CORP.)  
(F.A.A. CENTRAL RAILROAD OF NEW JERSEY)  
(87' WIDE)

NOTE: ARCHITECTURAL BUILDING MOUNTED LIGHTS HAVE NOT BEEN MODELED AS PART OF THESE CALCULATIONS

PROPOSED WALMART  
PG-162-SQL-NG

PROPOSED WALMART  
PG-162-SQL-NG  
TOTAL ORDER OF 50' WITH OUTSIDE LANE 5000 GROSS CENTER, BAGGED GOODS AREA, LOBBY SATURDAY STORE AND ENVIRONMENTAL CODE FENCED AREA (TOTAL FOOTAGE = 130')

77 PARALLEL SPACES PROPOSED (11' X 6'6" W/ 6")  
MEAN AGE = 6.8 (TENSIVE YEARS)



NORTHAMPTON BLVD.  
(60' WIDE RIGHT)

EXECUTIVE DRIVE  
(40' WIDE ROAD)

**BOHLER ENGINEERING**  
INCORPORATED  
1000 ROUTE 100  
SUITE 100  
MORRISTOWN, NJ 07960  
TEL: 973-881-1111  
WWW.BOHLENERG.COM

REVISIONS	
NO.	DATE
1	07/15/2011
2	07/15/2011
3	07/15/2011
4	07/15/2011
5	07/15/2011
6	07/15/2011
7	07/15/2011
8	07/15/2011
9	07/15/2011
10	07/15/2011

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT NO. 10000000000000000000  
DATE: 07/15/2011  
SCALE: AS SHOWN  
DRAWN BY: J. BOHLER  
CHECKED BY: J. BOHLER  
APPROVED BY: J. BOHLER

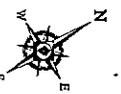
PRELIMINARY AND FINAL SITE PLAN  
PROPOSED WALMART  
1000 ROUTE 100  
SUITE 100  
MORRISTOWN, NJ 07960  
TEL: 973-881-1111  
WWW.BOHLENERG.COM

**BOHLER ENGINEERING**  
INCORPORATED  
1000 ROUTE 100  
SUITE 100  
MORRISTOWN, NJ 07960  
TEL: 973-881-1111  
WWW.BOHLENERG.COM

G.B. MURRAY  
ARCHITECT  
1000 ROUTE 100  
SUITE 100  
MORRISTOWN, NJ 07960  
TEL: 973-881-1111  
WWW.GBMURRAY.COM

PROJECT NO. 10000000000000000000  
DATE: 07/15/2011  
SCALE: AS SHOWN  
DRAWN BY: J. BOHLER  
CHECKED BY: J. BOHLER  
APPROVED BY: J. BOHLER





**LEGEND**

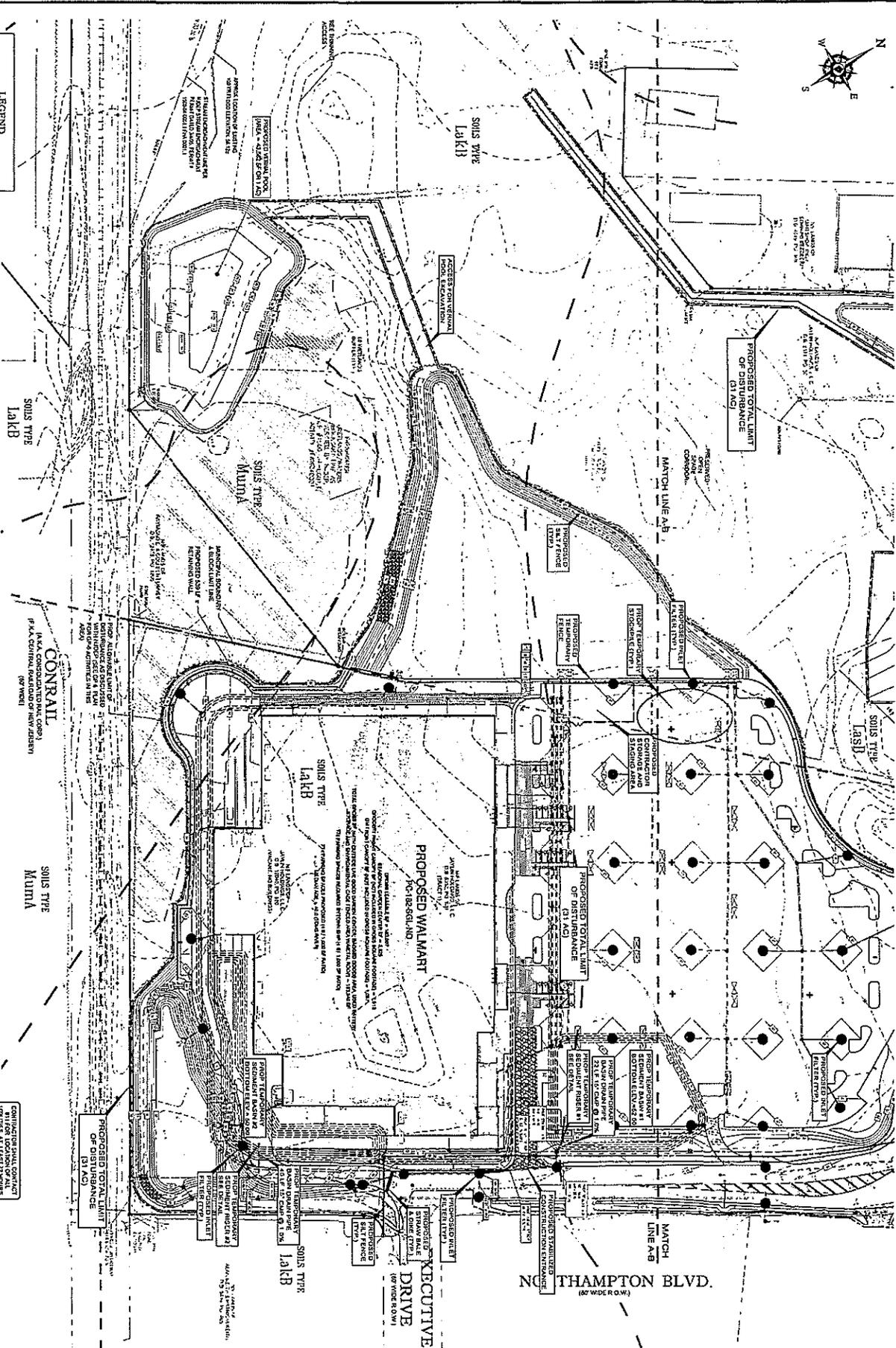
	50% EROSION CONTROL LIMIT
	100% EROSION CONTROL LIMIT
	PROPOSED SEDIMENTATION BASIN
	PROPOSED STORMWATER MANAGEMENT STRUCTURE
	PROPOSED STORMWATER INLET
	PROPOSED STORMWATER OUTLET
	PROPOSED STORMWATER PIPE
	PROPOSED STORMWATER MANHOLE
	PROPOSED STORMWATER CATCHMENT BASIN
	PROPOSED STORMWATER STORAGE BASIN
	PROPOSED STORMWATER TREATMENT BASIN
	PROPOSED STORMWATER DETENTION BASIN
	PROPOSED STORMWATER RETENTION BASIN
	PROPOSED STORMWATER DIVERSION BASIN
	PROPOSED STORMWATER INFILTRATION BASIN
	PROPOSED STORMWATER EVAPORATION BASIN
	PROPOSED STORMWATER STORAGE BASIN (10' x 10')
	PROPOSED STORMWATER STORAGE BASIN (15' x 15')
	PROPOSED STORMWATER STORAGE BASIN (20' x 20')
	PROPOSED STORMWATER STORAGE BASIN (25' x 25')
	PROPOSED STORMWATER STORAGE BASIN (30' x 30')
	PROPOSED STORMWATER STORAGE BASIN (35' x 35')
	PROPOSED STORMWATER STORAGE BASIN (40' x 40')
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	PROPOSED STORMWATER STORAGE BASIN (55' x 55')
	PROPOSED STORMWATER STORAGE BASIN (60' x 60')
	PROPOSED STORMWATER STORAGE BASIN (65' x 65')
	PROPOSED STORMWATER STORAGE BASIN (70' x 70')
	PROPOSED STORMWATER STORAGE BASIN (75' x 75')
	PROPOSED STORMWATER STORAGE BASIN (80' x 80')
	PROPOSED STORMWATER STORAGE BASIN (85' x 85')
	PROPOSED STORMWATER STORAGE BASIN (90' x 90')
	PROPOSED STORMWATER STORAGE BASIN (95' x 95')
	PROPOSED STORMWATER STORAGE BASIN (100' x 100')

**NOTE:** THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY. SEE SHEET 2 FOR SEDIMENT CONTROL NOTES & SHEET 27 FOR DETAILS.



**NOTE:** ALL EROSION CONTROL STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

- 1. ALL EROSION CONTROL STRUCTURES SHALL BE CONSTRUCTED TO THE DESIGNER'S SATISFACTION.
- 2. ALL EROSION CONTROL STRUCTURES SHALL BE CONSTRUCTED TO THE DESIGNER'S SATISFACTION.
- 3. ALL EROSION CONTROL STRUCTURES SHALL BE CONSTRUCTED TO THE DESIGNER'S SATISFACTION.
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- 9. ALL EROSION CONTROL STRUCTURES SHALL BE CONSTRUCTED TO THE DESIGNER'S SATISFACTION.
- 10. ALL EROSION CONTROL STRUCTURES SHALL BE CONSTRUCTED TO THE DESIGNER'S SATISFACTION.



**NOTHAMPTON BLVD.**  
(80' WIDE R.O.W.)

**PROPOSED EXECUTIVE DRIVE**  
(80' WIDE R.O.W.)

**BOHLER ENGINEERING**

1000 W. 10th Street, Suite 100, Lincoln, NE 68502  
402.441.1111

BOHLER ENGINEERING IS AN EQUAL OPPORTUNITY EMPLOYER. MINORITY AND FEMALE OWNERSHIP AND CONTROLLED BUSINESSES ARE ENCOURAGED TO APPLY.

**PROPOSED WALLEMART**

100' x 100' x 10'

100' x 100' x 10'

100' x 100' x 10'

**BOHLER ENGINEERING**

1000 W. 10th Street, Suite 100, Lincoln, NE 68502  
402.441.1111

**GB MURRAY**

1000 W. 10th Street, Suite 100, Lincoln, NE 68502  
402.441.1111

**SOIL EROSION & SEDIMENT CONTROL PLAN**

19

1000 W. 10th Street, Suite 100, Lincoln, NE 68502  
402.441.1111



**BOHLER ENGINEERING**

12345 Main Street  
 67890 City, State 12345  
 Phone: (123) 456-7890  
 Fax: (123) 456-7891  
 Website: www.bohler-engineering.com

**1 ACCESSIBLE MARKING SIGN**

**2 STOP SIGNAGE AND MARKING**

**3 ENTER PAVEMENT NARROWER WARNING**

**4 TRUCK ENTRANCE SIGN (W/ARROW)**

**5 NO PARKING FIRE LANE SIGN**

**6 TRUCK EXIT SIGN (W/ARROW)**

**7 STANDARD PARKING STRIPING**

**8 CROSSWALK MARKING (W/ARROW) SIGNAL STRIPES**

**9 TRUCK ENTRANCE SIGN (W/ARROW)**

**10 TRUCK EXIT SIGN (W/ARROW)**

**11 STOP SIGN (ONLY)**

**12 SIGN MOUNTING AND BASE WITHOUT HOLLAND DETAILS (USE WHERE SIGNS WITHIN CURBED ISLANDS)**

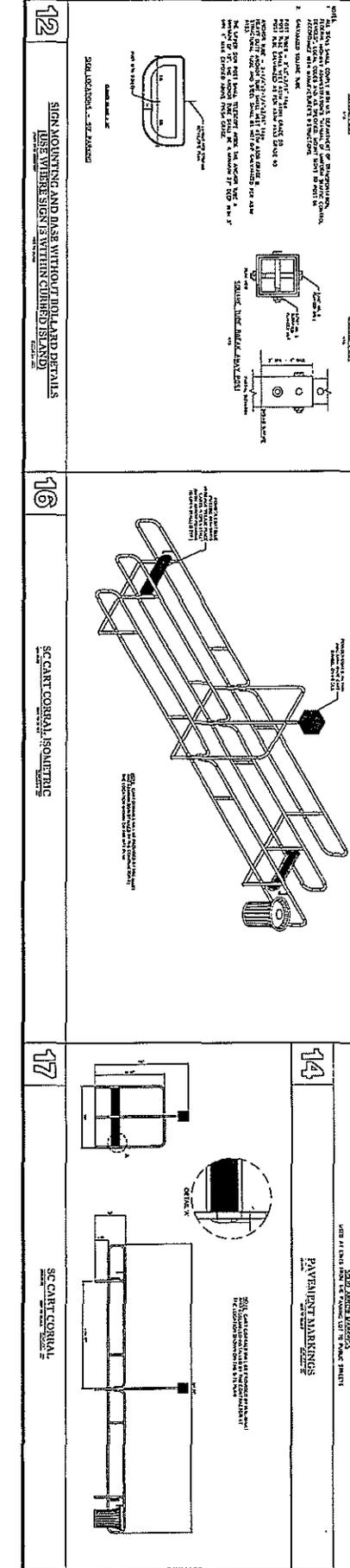
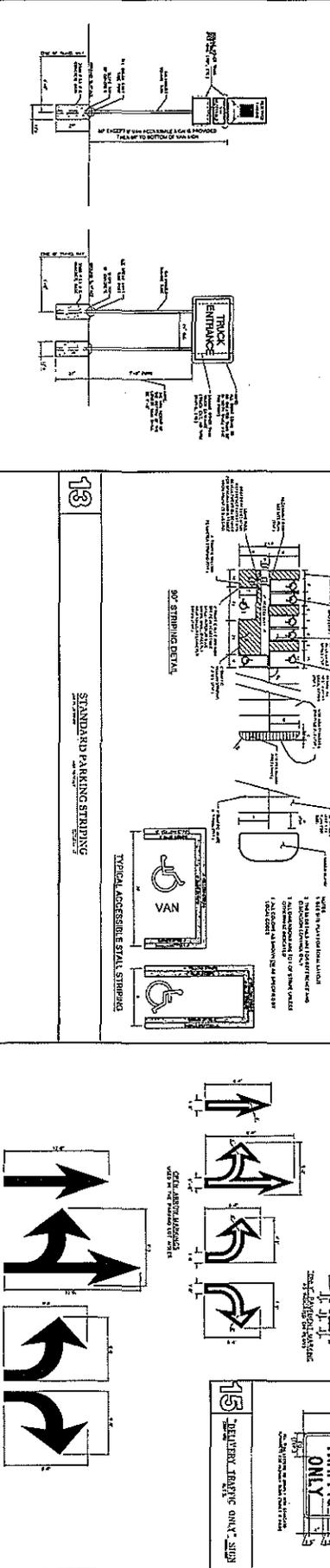
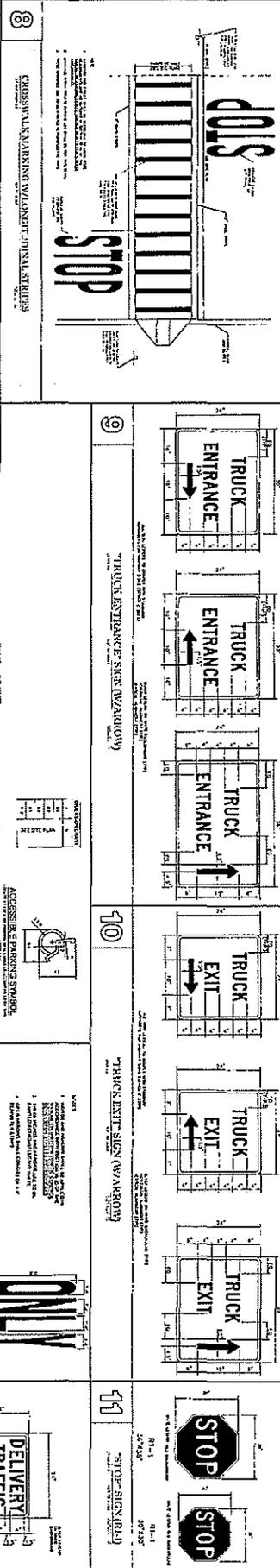
**13 STANDARD PARKING STRIPING**

**14 PAVEMENT MARKINGS**

**15 DELIVERY TRAFFIC ONLY SIGN**

**16 SC CART CORRAL ISOLATING**

**17 SC CART CORRAL**



**BOHLER ENGINEERING**

12345 Main Street  
 67890 City, State 12345  
 Phone: (123) 456-7890  
 Fax: (123) 456-7891  
 Website: www.bohler-engineering.com

**PRELIMINARY AND FINAL SIGN PLAN**

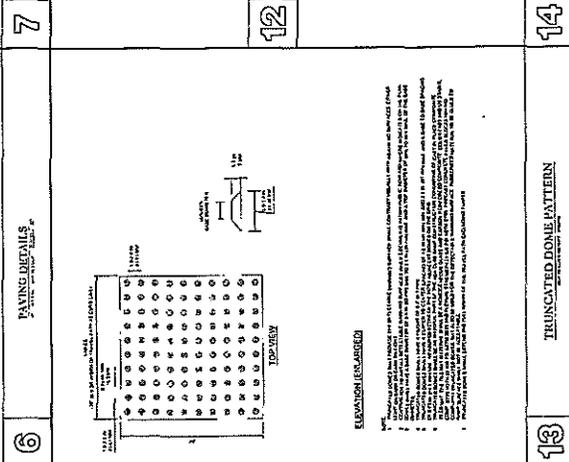
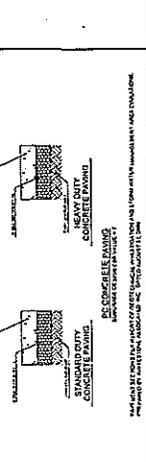
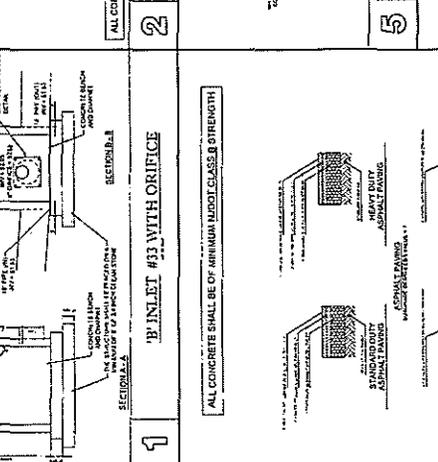
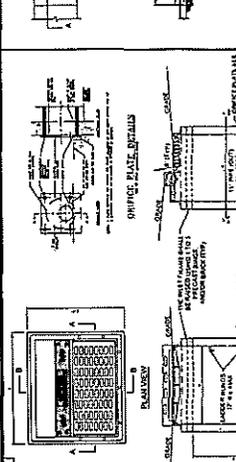
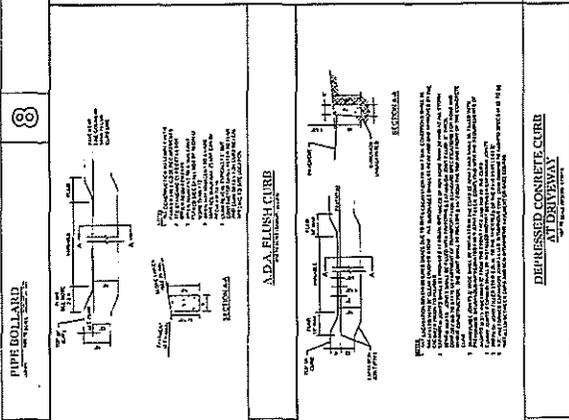
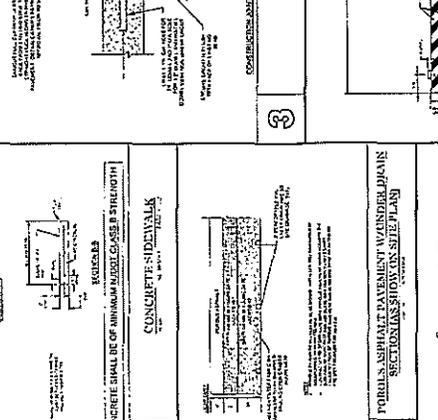
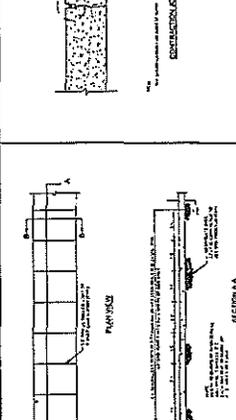
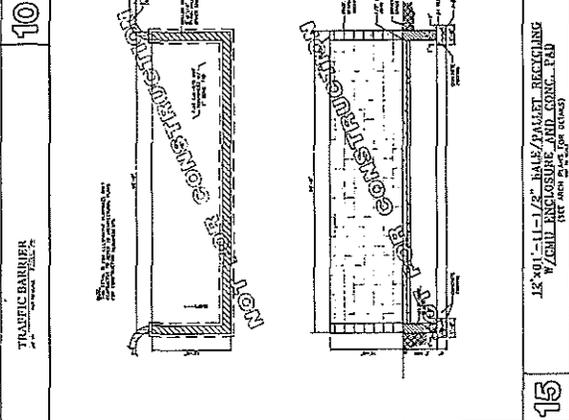
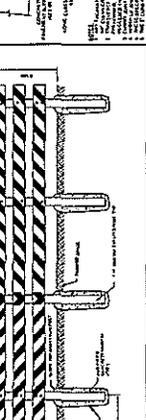
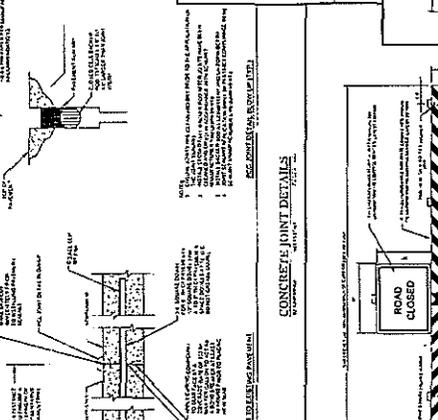
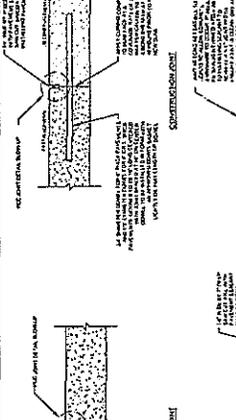
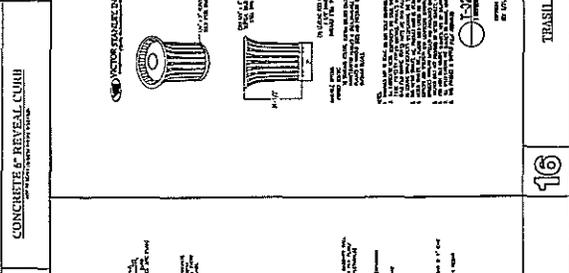
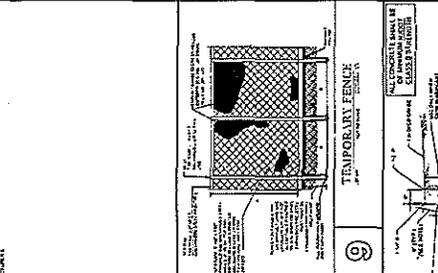
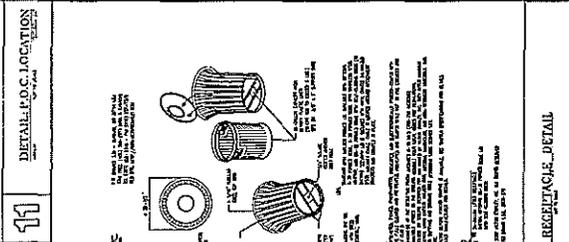
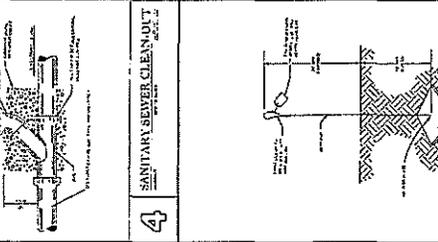
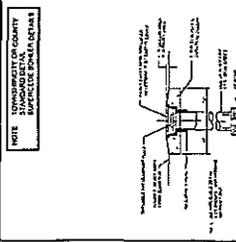
**PROVIDED BY:**  
 Wainwright  
 12345 Main Street  
 67890 City, State 12345  
 Phone: (123) 456-7890  
 Fax: (123) 456-7891  
 Website: www.wainwright.com

**DATE:** 12/15/2023

**SCALE:** AS SHOWN

**21**

NO.	DATE	REVISIONS
1		ISSUED FOR BIDDING
2		ISSUED FOR BIDDING
3		ISSUED FOR BIDDING
4		ISSUED FOR BIDDING
5		ISSUED FOR BIDDING
6		ISSUED FOR BIDDING
7		ISSUED FOR BIDDING
8		ISSUED FOR BIDDING
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10		ISSUED FOR BIDDING
11		ISSUED FOR BIDDING
12		ISSUED FOR BIDDING
13		ISSUED FOR BIDDING
14		ISSUED FOR BIDDING
15		ISSUED FOR BIDDING
16		ISSUED FOR BIDDING





**BOHLER ENGINEERING**

1100 S. W. 10th St.  
 Ft. Lauderdale, FL 33304  
 Phone: (561) 533-1100  
 Fax: (561) 533-1101  
 Email: info@bohlereng.com

NO.	REVISIONS
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
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20	ISSUED FOR PERMIT
21	ISSUED FOR PERMIT
22	ISSUED FOR PERMIT
23	ISSUED FOR PERMIT
24	ISSUED FOR PERMIT

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 11/15/2011



PROPOSED  
**Walmart**  
 STORE #11401  
 1100 S. W. 10th St.  
 Ft. Lauderdale, FL 33304

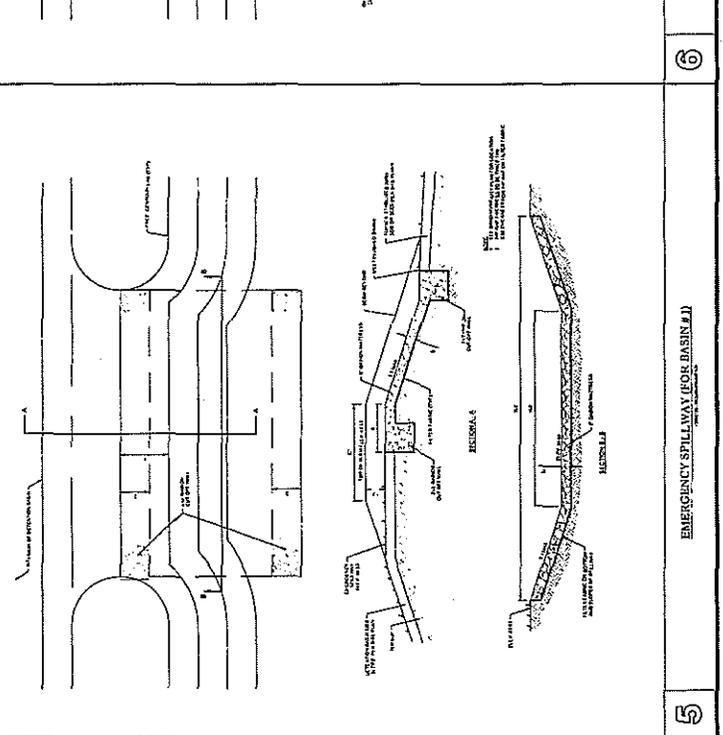
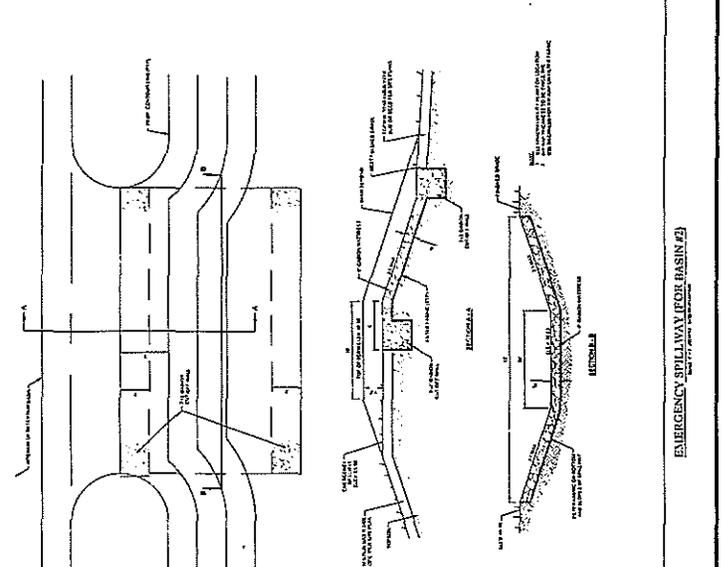
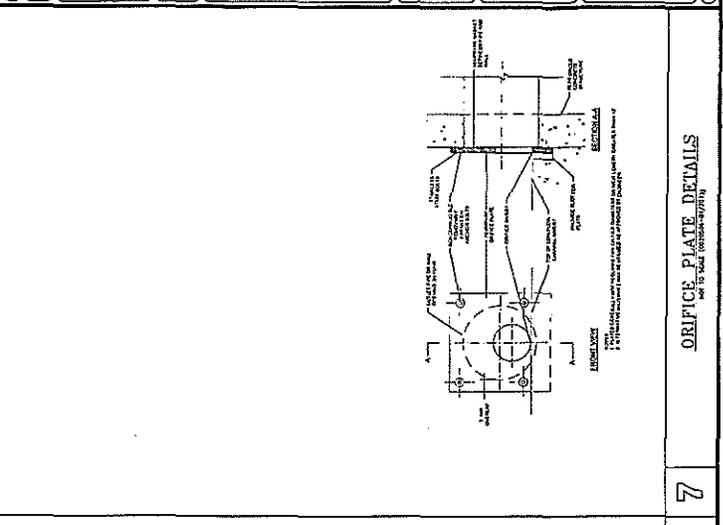
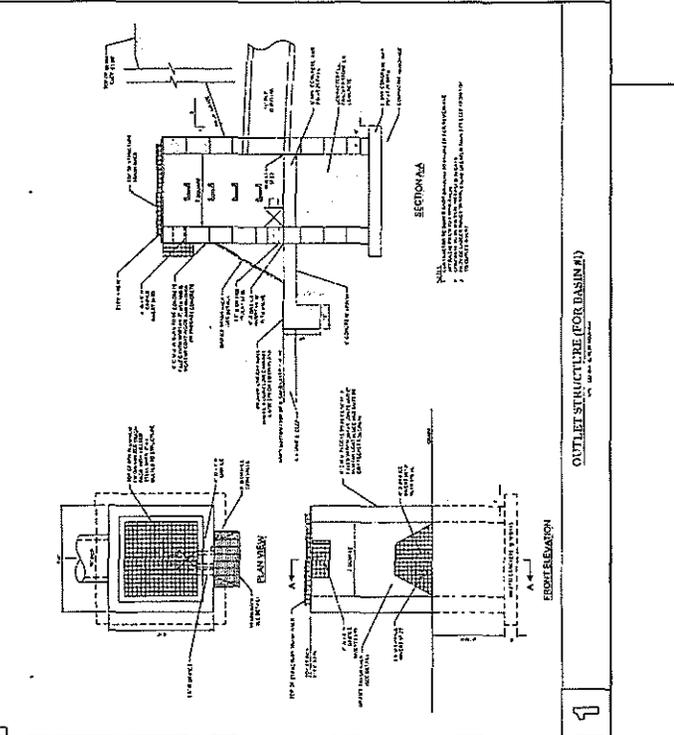
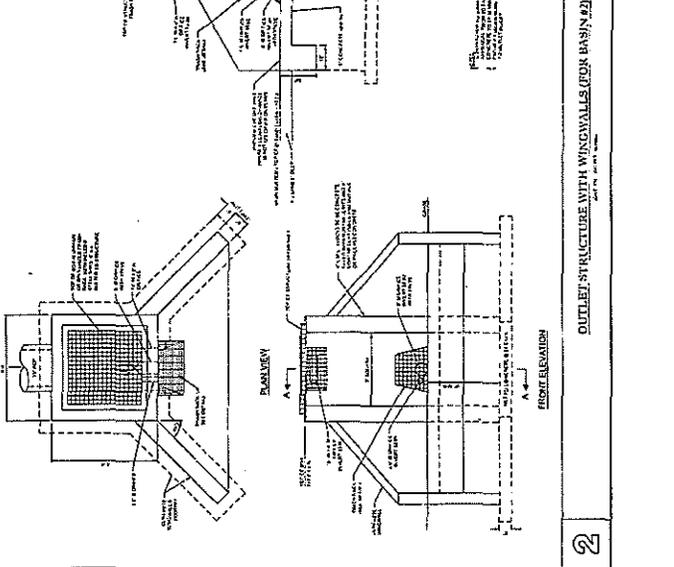
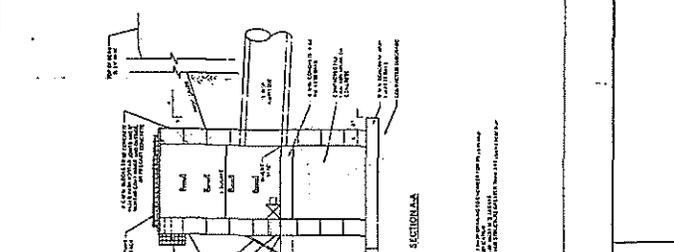
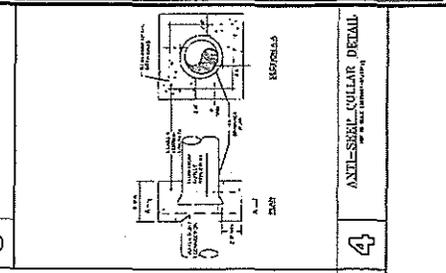
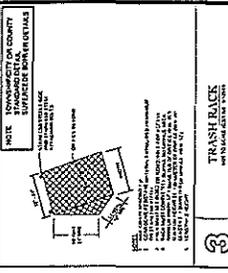
PRELIMINARY AND  
 FINAL SITE PLAN

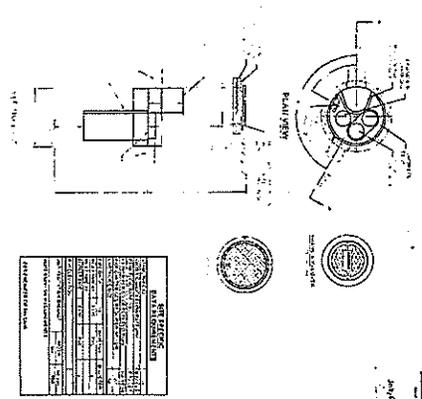
PROPOSED  
**Walmart**  
 STORE #11401  
 1100 S. W. 10th St.  
 Ft. Lauderdale, FL 33304

**BOHLER ENGINEERING**

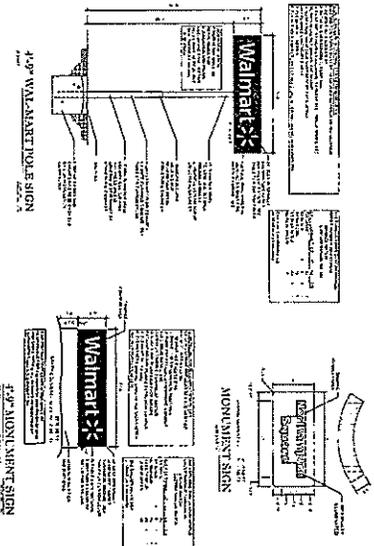
**G.B. MURRAY**  
 Professional Engineer  
 License No. 12543

DETAIL SHEET  
 24 of 24  
 PROJECT NO. 11-001

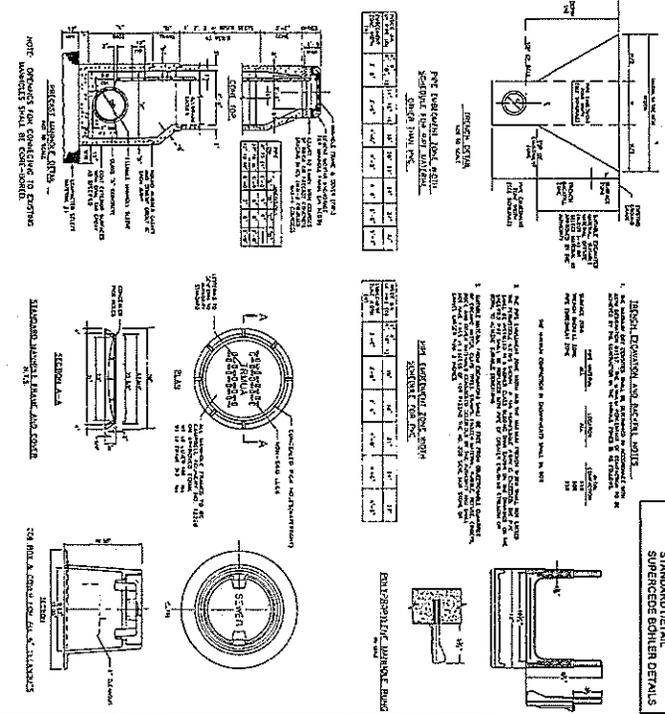




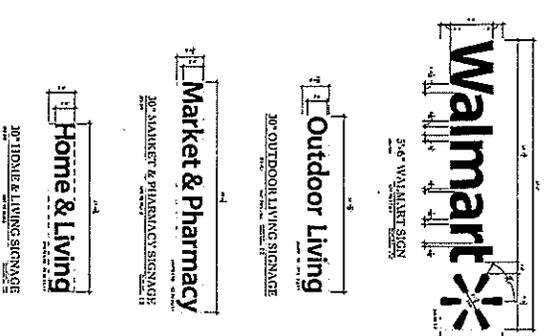
**1 ELEVATION DETAIL**



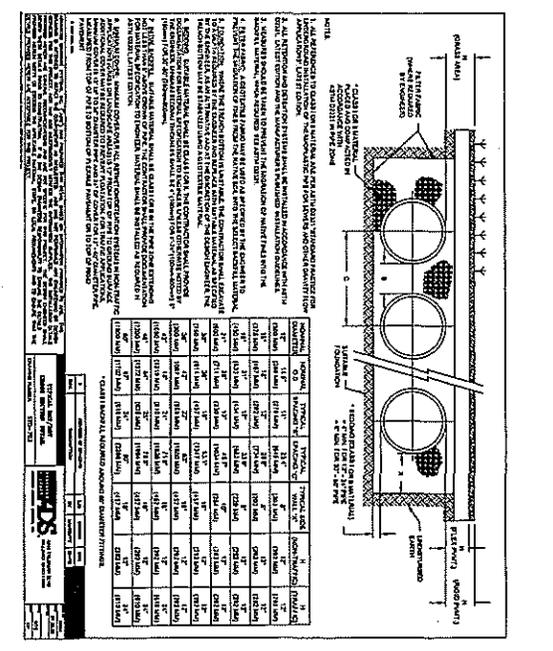
**2 ELEVATION DETAIL**



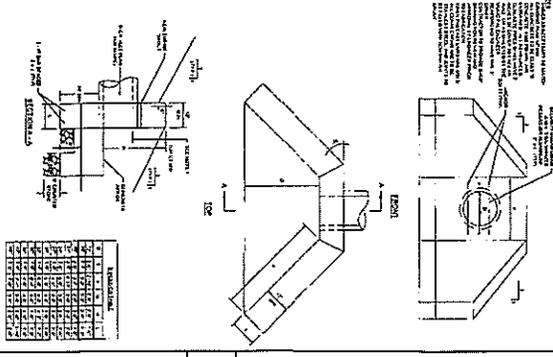
**3 TOWNSHIP OF TONS RIVER ALIEN DETAILS**



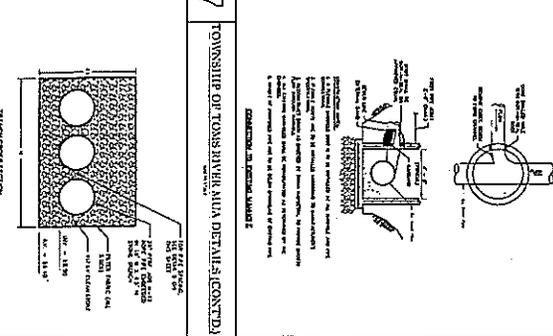
**4 BUILDING MOUNTED SIGNS**



**5 UNDERGROUND BASKIN-ROBBINS DETAIL (FOR BASKIN #3)**



**6 DIECAST HEADWALL DETAIL**



**7 3/4\"/>**

**BOHLER ENGINEERING**

1000 W. 10th Street, Suite 100, Phoenix, AZ 85003  
 Phone: (602) 998-1111  
 Fax: (602) 998-1112  
 Email: info@bohlereng.com

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF ARIZONA  
 LICENSE NO. 12345

**REPRODUCTION OF ORIGINAL**

**25**

**DETAIL SHEET**

**GB MURRAY**

**BOHLER ENGINEERING**

**Walmart**

**PHARMACY AND PHARMACY SIGN**

**3x6\"/>**

**REPRODUCTION OF ORIGINAL**

**25**

**DETAIL SHEET**

**Walmart**

**PHARMACY AND PHARMACY SIGN**

**3x6\"/>**













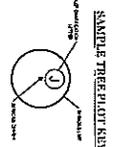


TREE PLANT INVENTORY	
NO.	DESCRIPTION
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2	1.000000
3	1.000000
4	1.000000
5	1.000000
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7	1.000000
8	1.000000
9	1.000000
10	1.000000

STATISTICAL INVENTORY OF ALL TREES AT SITE	
NO.	DESCRIPTION
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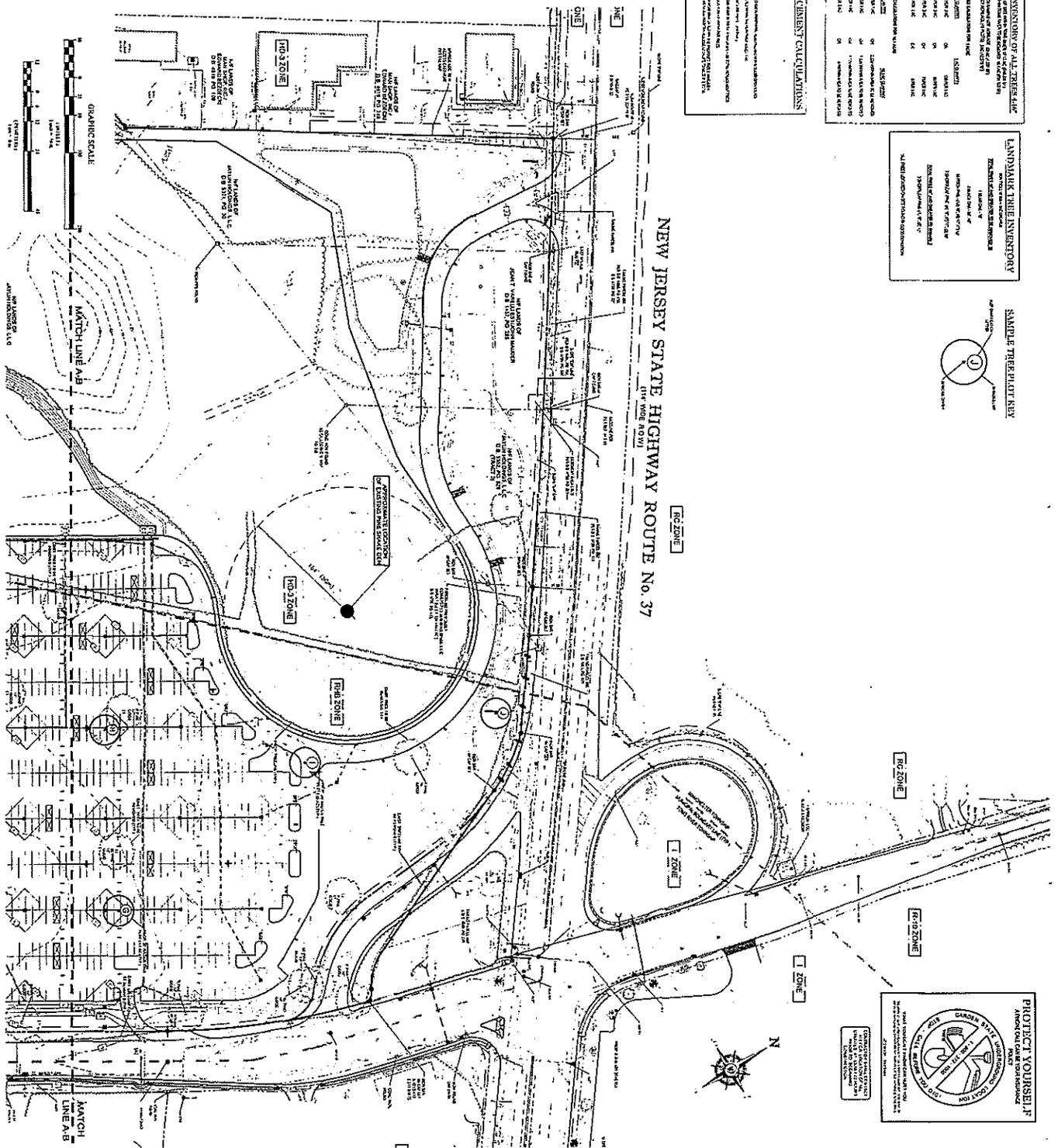
**TREE REPAIRMENT CALCULATIONS:**  
 THIS SHEET SHOWS THE CALCULATIONS FOR THE REPAIRMENT OF TREES THAT ARE TO BE REMOVED OR PRUNED. THE CALCULATIONS ARE BASED ON THE TREE INVENTORY AND THE TREE REPAIRMENT SCHEDULE. THE CALCULATIONS SHOW THE COST OF REPAIRING EACH TREE AND THE TOTAL COST OF REPAIRING ALL TREES TO BE REPAIRED.

**LANDMARK TREE INVENTORY**  
 THIS SHEET SHOWS THE LANDMARK TREES THAT ARE TO BE PRESERVED. THE LANDMARK TREES ARE THOSE TREES THAT ARE OF SIGNIFICANT VALUE TO THE SITE AND ARE TO BE PRESERVED AS PART OF THE SITE'S HERITAGE.



**EXISTING TREE LEGEND**  
 THIS SHEET SHOWS THE LEGEND FOR THE EXISTING TREES ON THE SITE. THE LEGEND IDENTIFIES THE TREE SPECIES, THE TREE SIZE, AND THE TREE CONDITION.

**PROPOSED SILT FENCE TO BE UTILIZED AS TREE PROTECTION FENCE IN ALL LOCATIONS WHERE EXISTING TREES ARE TO REMAIN**  
**TREE PITS AND INVENTORY ARE GPS LOCATED BASED ON 10/20/09**



**BOHLER ENGINEERING**  
 1000 ROUTE 100, SUITE 100, HIGHTSTOWN, NJ 08520  
 TEL: 609-426-1100 FAX: 609-426-1101  
 WWW.BOHLERENGINEERING.COM

**FOR FOREST WALKER (SROKERHARD)**  
 PREPARED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 10/20/09

**BOHLER ENGINEERING**  
 1000 ROUTE 100, SUITE 100, HIGHTSTOWN, NJ 08520  
 TEL: 609-426-1100 FAX: 609-426-1101  
 WWW.BOHLERENGINEERING.COM

**G.S. DIBONA**  
 1000 ROUTE 100, SUITE 100, HIGHTSTOWN, NJ 08520  
 TEL: 609-426-1100 FAX: 609-426-1101  
 WWW.BOHLERENGINEERING.COM

**TREE MANAGEMENT PLAN V.1**  
 1000 ROUTE 100, SUITE 100, HIGHTSTOWN, NJ 08520  
 TEL: 609-426-1100 FAX: 609-426-1101  
 WWW.BOHLERENGINEERING.COM





## State of New Jersey

DEPARTMENT OF ENVIRONMENTAL PROTECTION

Division of Land Use Regulation

Mail Code 501-02A, P. O. Box 420

Trenton, New Jersey 08625-0420

[www.state.nj.us/dep/landuse](http://www.state.nj.us/dep/landuse)

CHRIS CHRISTIE  
*Governor*

KIM GUADAGNO  
*Lt. Governor*

BOB MARTIN  
*Commissioner*

APR 13 2016

Jay A. Grunin  
Jaylin Holdings LLC  
Dover Esplanade, Building 1  
1027 Hooper Ave  
Toms River, NJ 08753

RE: Freshwater Wetlands Letter of Interpretation: Line Verification  
File No.: 1500-04-0001.3  
Activity Number: FWW150001  
Applicant: JAYLIN HOLDINGS, LLC  
Block(s) and Lot(s): [44, 9]  
Manchester Twp., Ocean County

Dear Mr. Grunin :

This letter is in response to your request for a Letter of Interpretation to have Division of Land Use Regulation (Division) staff verify the boundary of the freshwater wetlands and/or State open waters on the referenced property.

In accordance with agreements between the State of New Jersey Department of Environmental Protection, the U.S. Army Corps of Engineers Philadelphia and New York Districts, and the U.S. Environmental Protection Agency, the NJDEP, the Division is the lead agency for establishing the extent of State and Federally regulated wetlands and waters. The USEPA and/or USACOE retain the right to reevaluate and modify the jurisdictional determination at any time should the information prove to be incomplete or inaccurate.

Based upon the information submitted, and upon site inspections conducted by Division staff on October 14, 2015 and February 10, 2016, the Division has determined that the wetlands and waters boundary line(s) as shown on the plan map entitled: "BOUNDARY & WETLAND LOCATION SURVEY, LOT 9, BLOCK 44, 1801 NJSH ROUTE 37, TOWNSHIP OF MANCHESTER, OCEAN COUNTY, NEW JERSEY", consisting of one sheet, dated 8-6-15, last revised 3-17-16, and prepared by Control Point Associates, Inc., is accurate as shown.

#### Wetlands Resource Value Classification ("RVC")

In addition, the Division has determined that the resource value and the standard transition area or buffer required adjacent to the delineated wetlands are as follows:

Exceptional: A16 directly across to A-19; A-19 through A-31; B1 through B-9; D-1 through D-5. [150 foot wetland buffer]

received after 30 days of publication notice may be denied. The DEP Bulletin is available on the Department's website at [www.state.nj.us/dep/bulletin](http://www.state.nj.us/dep/bulletin). In addition to your hearing request, you may file a request with the Office of Dispute Resolution to engage in alternative dispute resolution. Please see the website [www.nj.gov/dep/odr](http://www.nj.gov/dep/odr) for more information on this process.

Please contact Ryan Anderson of our staff by e-mail at [ryan.anderson@dep.nj.gov](mailto:ryan.anderson@dep.nj.gov) or by phone at (609) 633-2289 should you have any questions regarding this letter. Be sure to indicate the Department's file number in all communication.

Sincerely,

A handwritten signature in black ink, appearing to read 'Colleen Keller', with a stylized flourish at the end.

Colleen Keller, Manager  
Bureau of Coastal Regulation  
Division of Land Use Regulation

c: Municipal Clerk  
Agent (original)

STATE OF NEW JERSEY  
DEPARTMENT OF ENVIRONMENTAL PROTECTION

(See Issuing Division below)

**PERMIT\***



The New Jersey Department of Environmental Protection grants this permit in accordance with your application, attachments accompanying same application, and applicable laws and regulations. This permit is also subject to the further conditions and stipulations enumerated in the supporting documents which are agreed to by the permittee upon acceptance of the permit.

Permit No. 1500-04-0001.1 APL080001, FWW090001	Application No. 1500-04-0001.1 APL080001, FWW090001
---	--

Issuance Date <b>APR 18 2012</b>	Effective Date <b>APR 18 2012</b>	Expiration Date <b>APR 17 2017</b>
-------------------------------------	--------------------------------------	---------------------------------------

<b>Name and Address of Applicant</b> Jaylin Holdings, LLC Dover Esplanade, Building 1 1027 Hooper Avenue Toms River, NJ 08753	<b>Name and Address of Owner</b> Applicant	<b>Name and Address of Operator</b> Applicant
---	---	--

<b>Location of Activity/Facility (Street Address)</b> Route 37 & Northampton Boulevard Toms River Township, Ocean County Lots: 14 & 15 Block: 505 Manchester Township, Ocean County Lots: 2, 3, 4(part) & 5 Block: 44	<b>Issuing Division</b> Land Use Regulation	<b>Statute(s)</b> NJSA 13:19-1 NJSA 13:9B-1
--	--	---

Type of Permit: CAFRA, Freshwater Wetlands GP #6	Maximum Approved Capacity, if applicable
--	--

This permit authorizes the construction of a 189,797 square foot (SF) Walmart retail store with a water tower, a 5,703 square foot (SF) seasonal garden center, parking for 833 vehicles, retaining walls, 5 above ground and 2 underground stormwater basins, and access from Route 37 and Northampton Boulevard (the "Project") within an approximate 22.4 acre development area. This permit also authorizes the filling of 0.47 acres of an isolated wetland. The Project is shown on the approved plans referenced on page 3 of this permit.

This permit is authorized under and in compliance with applicable Rules on Coastal Zone Management (N.J.A.C. 7:7E-1.1 et seq.) and the Freshwater Wetlands Protection Act Rules (N.J.A.C. 7:7A-1.1 et seq.) provided the conditions listed are met. The Division of Land Use Regulation ("DLUR") hereby determines that the applicable findings as required by Sections 10 & 11 of the CAFRA statute (N.J.S.A. 13:19-1 et seq.) and the Rules on Coastal Zone Management and Freshwater Wetlands have been met. The issuance of this permit is contingent upon compliance with the listed conditions and failure to comply with any or all conditions may result in appropriate enforcement action and revocation of this permit.

Revised Date	Approved by the Department of Environmental Protection Name (Print or Type) _____ DRAFT _____ Title _____ Signature _____ DRAFT _____ Date _____
--------------	--

\*The word permit means "approval, certification, registration, etc." (General Conditions are on Page Two)

### STANDARD PERMIT CONDITIONS

1. This permit is revocable, or subject to modification or change at any time, pursuant to the applicable regulations, when in the judgement of the Department of Environmental Protection of the State of New Jersey such revocation, modification or change shall be necessary.
2. The issuance of the permit shall not be deemed to affect in any way action by the Department of Environmental Protection of the State of New Jersey on any future application.
3. The works, facilities, and/or activities shown by plans and/or other engineering data, which are this day approved, subject to the conditions herewith established, shall be constructed and/or executed in conformity with such plans and/or engineering data and the said conditions.
4. No change in plans or specifications shall be made except with the prior written permission of the Department of Environmental Protection of the State of New Jersey.
5. The granting of this permit shall not be construed to in any way affect the title or ownership of property, and shall not make the Department of Environmental Protection or the State a party in any suit or question of ownership.
6. This permit does not waive the obtaining of Federal or other State or local government consent when necessary. This permit is not valid and no work shall be undertaken until such time as all other required approvals and permits have been obtained.
7. A copy of this permit shall be kept at the work site, and shall be exhibited upon request of any person.
8. In cases of conflict, the conditions of this permit shall supersede the plans and/or engineering data.
9. The permittee shall allow an authorized representative of the Department of Environmental Protection the right to inspect construction pursuant to N.J.A.C. 7:7-1.5(b)4.
10. In accordance with N.J.A.C. 7:7A-1.7, any person who is aggrieved by this decision may request a hearing within 30 days after notice of the decision is published in the DEP Bulletin by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, 401 East State Street, PO Box 402, Trenton, NJ 08625-0402. This request must include a completed copy of the Administrative Hearing Request Checklist. If a person submits the hearing request after this time, the Department shall deny the request. The DEP bulletin and checklist are available through the Department's website at [www.state.nj.us/dep](http://www.state.nj.us/dep).

### ADMINISTRATIVE PERMIT CONDITIONS

1. This permit shall be RECORDED in the office of the Ocean County Clerk within ten (10) days after receipt of the permit by the applicant and the Applicant shall immediately send documentation of its recordation to the DLUR.
2. Acceptance of permit: If you begin any Project activity approved by this permit, you thereby accept this document in its entirety, and the responsibility to comply with the terms and conditions. If you do not accept or agree with this document in its entirety, do not begin any site disturbance, pre-construction earth movement or construction of or for the Project.
3. Additional development or other related construction unauthorized by this permit shall require either a modification to CAFRA and/or Freshwater Wetlands Permit #1500-04-0001.2 APL080001, FWW090001, or most likely a new CAFRA and/or Freshwater Wetlands permit depending on the size and scope of the proposed development as well as the activity status of the existing CAFRA and/or Freshwater Wetlands permit.

4. The following approved plans were prepared by Bohler Engineering and are hereafter referred to as the "Revised Plans":
- "PRELIMINARY AND FINAL SITE PLAN & MINOR SUBDIVISION FOR WAL-MART REAL ESTATE BUSINESS TRUST, PROPOSED WALMART STORE (#1844-05), NEW JERSEY STATE HIGHWAY ROUTE #37 & NORTHAMPTON BOULEVARD, BLOCK 44, LOTS 2, 3, 5 AND PART OF LOT 4, MANCHESTER TOWNSHIP, TAX MAP SHEETS 7.02, 8 & 9 (DATED APRIL, 1973); BLOCK 505, LOTS 14 & 15, TOMS RIVER TOWNSHIP, TAX MAP SHEET 54 (DATED SEPTEMBER, 1996), OCEAN COUNTY, NEW JERSEY", all sheets (1-29) are dated June 26, 2009, unrevised, except for sheet #5, which was last revised on June 3, 2010.
  - "DEVELOPMENT / CONSERVATION AREA PLAN" originally dated October 7, 2009, revised/redated October 6, 2011.
  - "WETLANDS MITIGATION PLAN" originally dated June 26, 2009, revised through November 2, 2011.
  - "OVERALL SITE PLAN", sheet 5 of 29, depicting wire exclusion fencing revised through November 9, 2011. This plan is approved for the installation of the exclusion fence during the construction phase only.

#### PROJECT SPECIFIC PERMIT CONDITIONS

1. Within (30) days of permit issuance, and prior to the start of any site disturbance, pre-construction earth movement or construction for the Project, and as more fully set forth in the December 20, 2011 Settlement Agreement which is incorporated herein and made a part hereof ("Settlement Agreement"), the owner of the property shall grant to the Department a conservation restriction approved in advance in writing by the DLUR. The lands subjected to the conservation restriction shall be free of all buildings, dwellings, tenants, billboards and easements, including access easements, covenants, mortgages, liens, encumbrances, judgements, tax liens, outstanding taxes and any other instruments except for a cable easement granted to AT&T recorded May 21, 2009 in Deed Book 14300, page 1267 and following, and utility easements granted to Jersey Central Power and Light Company recorded in Book 2676, page 343; Book 2898, page 152; and Book 1277, page 305; and all of said lands shall be insurable at regular rates by a licensed and reputable New Jersey title company on the Department's Green Acres list. The lands subjected to the conservation restrictions shall include:
- a. Block 77, Lot 27 (approximately 11.3 acres); Block 73, Lots 31 & 32 (approximately 42.9 acres; Block 73, Lot 21 (approximately 15.8 acres); and Block 73, Lot 3 & 4 (approximately 11.6 acres), located in the Township of Manchester, Ocean County.
  - b. Block 77, Lots 2, 4, 5 and 6 (approximately 89.29 acres) located in the Township of Manchester, Ocean County.
  - c. Block 75.01, Lot 3 (approximately 21 acres) located in the Township of Manchester, Ocean County.
    - \* Hereafter, subparagraphs 1a-c shall be referred to as the "Protected Lands".
  - d. Those portions of lots 14 and 15 of block 505 of the official 2011 Toms River tax map and lots 2, 3, 4 (part) and 5 of block 44 of the official Manchester Township tax map where no development is proposed, as depicted in the Development/Conservation Area Plan revised through October 6, 2011 which total approximately 20.9 acres shall be maintained as a permanent conservation restriction pine snake corridor area (hereafter, the Paragraph 1d Lots).

- e. All lands with conservation restrictions shall include a reverter clause which provides for reversion of such conservation restriction to the Permittee or record owner (If not Permittee), if the issuance of the permit by the Department is overturned on appeal or if the Department otherwise precludes development of the Project pursuant to Paragraph 7 of the Stipulation of Settlement. However, if any person has commenced any site disturbance, pre-construction earth movement or any construction for the Project, or if any of the Protected Lands have been disturbed, except for the removal of waste, pollutants and contaminants or for habitat enhancement, all such reverter clauses shall lapse and expire.
  - f. Within (30) days of issuance of the Permit, the Owner or Permittee shall provide proof to DLUR of recordation of the conservation restrictions for the Protected Lands and the Paragraph 1d Lots, respectively. Within (10) days of its receipt, the Owner or Permittee shall deliver to the DLUR complete copies of the recorded conservation restrictions.
2. The Permittee shall remove all waste, pollutants and contaminant materials identified by Whitestone Associates and the Department on, above, below and throughout the Protected Lands and the Paragraph 1d Lots to be conveyed to the Department and conserved for pine snake protection and/or enhancement, respectively. Upon the Department's review and approval that all waste, pollutants and contaminants have been satisfactorily removed, the Department shall issue to the Permittee a letter to said effect.
- a. The Permittee shall ensure that all soils shall be at or below the numeric concentrations needed to meet Residential Cleanup standards, N.J.A.C. 7:26E-1 et seq., that is Remediation Standards, N.J.A.C. 7:26D-1 et seq., including, but not limited to, Residential Cleanup Standards for waste, contaminants and pollutants throughout the Protected Lands and the Paragraph 1d Lots, respectively. Further, all groundwater shall be at or below the numeric concentrations for all applicable standards for waste, pollutant and contaminant requirements as defined in N.J.A.C. 7:26E-1.8 and the Groundwater Quality Standards, N.J.A.C. 7:9C-1 et seq.
  - b. Adequate removal of waste, pollutants and contaminant materials identified on, above, below and throughout the Protected Lands and the Paragraph 1d Lots shall be completed, so that once the pine snake habitat enhancement is completed, there is no need to subsequently disturb the pine snake habitat enhancements.
  - c. In addition, prior to commencing the construction of the Project as defined in paragraph 4 below, Permittee shall either complete the required remediation or establish and maintain a remediation funding source in an amount acceptable to the Department through the use of one of the instruments defined in N.J.A.C. 7:26C-5.2(f)1, 2, 3 or 4.
3. Any and all clearing of trees and vegetation shall only occur from August 1<sup>st</sup> through March 31<sup>st</sup>, except for clearing associated with the pine snake enhancements.
4. Prior to site disturbance, pre-construction earth movement or construction, and in accordance with the Settlement Agreement, the Permittee shall undertake and complete all pine snake habitat enhancement as follows:
- a. Permittee shall first complete all pine snake enhancements for the Protected Lands, except for the planting of saplings which shall be undertaken and completed in the next spring planting season;
  - b. Upon completion of the pine snake enhancements for the Protected Lands, Permittee shall then complete all pine snake enhancements on the Paragraph 1d Lots;

**Jaylin Holdings, LLC - Walmart**

- c. Pursuant to the deadlines set forth in the Settlement Agreement, the Permittee shall seek notice from the Endangered and Nongame Species Program (ENSP) and DLUR whether the pine snake enhancements have been satisfactorily completed.
5. Subject to the timing restriction referenced in Project Specific Condition #3 above, Permittee shall next install and complete the Herpetofauna Fence (as defined in the Settlement Agreement) on the Paragraph 1d Lots and then install and complete the linear barrier wall as shown on the Revised Plans, including the Development/Conservation Area Plan, dated October 6, 2011:
  - a. The clearance width for the Herpetofauna Fence shall be no more than twenty feet, that is, no more than ten feet on either side of the center line of the fence.
  - b. Upon the start of the installation of the Herpetofauna Fence, Permittee shall retain a qualified herpetologist who shall conduct daily site inspections of the Herpetofauna Fence, linear barrier wall and stormwater basin and their associated clearing on the construction side and monitor, protect and remove to the habitat side all reptiles found on the construction side of the Herpetofauna Fence and on both sides of the linear barrier wall.
  - c. Upon completion of the linear barrier wall, but no later than the issuance of a temporary certificate of occupancy for the Project, the Permittee shall remove the Herpetofauna Fence.
  - d. The Permittee's herpetologist shall continue to conduct the daily site inspections until clearing has been completed on the construction side of the linear barrier wall.
  - e. No more than ten days before clearing, preconstruction earth movement, site disturbance or construction of the Project, a qualified herpetologist shall conduct a thorough survey of the entire Development Area on the construction side of the linear barrier wall and shall remove all reptiles to the habitat side of the linear barrier wall.

The Department reserves the right to immediately revoke or suspend all regulated activities onsite should the Department determine that the Permittee has not taken proper precautions to ensure continuous compliance with this condition.

6. Subject to the timing restriction referenced in Project Specific Condition #3 above, upon the completion of all pine snake enhancements throughout the Protected Lands and the Paragraph 1d Lots except for the planting of saplings, the completion of the Herpetofauna Fence and linear barrier wall, and subject to the Settlement Agreement's requirements regarding notice of satisfactory completion thereof, the Permittee may then start pre-construction earth movement, site disturbance, and construction of the Project, in the development area, as authorized by this permit.
7. Upon completion of the Herpetofauna Fence and subject to the timing restriction referenced at Project Specific Condition #3 above, the Permittee is authorized to: construct the 1-acre freshwater wetlands mitigation area; create the stormwater basin #1 on the construction side of the Herpetofauna Fence; and place excavated material from stormwater basin #1 or the wetlands mitigation area in the Development Area adjacent to the proposed location of the linear barrier wall.
  - a. Prior to any site disturbance, pre-construction earth movement, or filling of the isolated freshwater wetlands and associated transition areas in the Development Area, the Permittee shall construct and vegetate the vernal pool as shown on the "WETLANDS MITIGATION PLAN" revised through November 2, 2011.
  - b. The Permittee may only start site disturbance, pre-construction earth movement, or construction of the vernal pool after the Permittee has submitted and the Department has approved all of the documentation and plans required pursuant to the issuance of this permit.

8. In accordance with the Settlement Agreement, if ENSP or DLUR identifies deficiencies in the pine snake habitat enhancements, linear barrier wall, herpetofauna fence, or vernal pond mitigation and the Permittee either does not dispute the deficiencies or disputes the deficiencies and a determination is made by the Commissioner, and the Permittee fails either to correct any undisputed deficiency or to start to physically comply with any determination of the Commissioner concerning a disputed deficiency within ten (10) business days of receipt of the Commissioner's determination, then said failure to correct or to start to comply shall be considered a material breach and shall void this permit.
9. Prior to site disturbance, pre-construction earth movement, or construction of the Project, the Permittee shall deposit in an escrow account the full sum of \$70,911 which shall be used by the Department to ensure successful project completion and ongoing monitoring and maintenance of the enhanced pine snake habitat, and in a second escrow account, a refundable sum of \$15,344 for the completion of the sapling planting costs, respectively.
10. Upon the commencement of site disturbance, pre-construction earth movement and construction of the Project, the Owner shall simultaneously convey to the Department via affidavits of title with the appropriate corporate or partnership authorizing resolutions and via Bargain and Sale Deeds with Covenants Against Grantor's Acts for any or all of the Protected Lands, which the Department in its sole discretion, may determine to acquire. The Department may defer conveyance of any portion of the Protected Lands, if it determines that adequate site remediation and clean-up has not been concluded for that portion of the Protected Lands. Upon the Department's issuance of a notice to the Owner of the Protected Lands requesting fee simple conveyance, said Owner shall convey said lands within thirty (30) days if said lands were not conveyed at the commencement of site disturbance, pre-construction earth movement or construction of the Project.
11. In accordance with the Settlement Agreement and prior to site disturbance, pre-construction earth movement, or construction of the Project, the Wetland Mitigation Plan, for the vernal pool, last revised on November 2, 2011, must be constructed. No filling of any wetlands is permitted until such time that the mitigation project has satisfactorily been constructed in its entirety and the Department has issued its letter pursuant to the procedures and deadlines set forth in the Settlement Agreement that the pond has been satisfactorily constructed pursuant to the November 2, 2011 Wetlands Mitigation Plan.
  - a. At least ten (10) business days in advance of the start of construction of the approved wetland mitigation project, the Permittee shall notify the DLUR, in writing, to request an on-site pre-construction meeting between the Permittee, the contractor, the consultant and the DLUR;
  - b. Following the final grading of the mitigation project, the Permittee shall notify the DLUR for a post-grading construction meeting between the Permittee, contractor, consultant and the DLUR. The Permittee must give the DLUR at least ten (10) business days notice prior to the date of this meeting;
  - c. The Permittee shall assume all liability for accomplishing corrective work should the DLUR determine that the constructed mitigation project was not constructed in accordance with the approved November 2, 2011 Wetlands Mitigation Plan. Remedial work may include re-grading, replanting and/or alteration of hydrology of the mitigation site. Pursuant to the procedures and deadlines set forth in the Settlement Agreement, the Permittee shall seek approval from the Department that the vernal pond has been constructed in accordance with the approved plans.

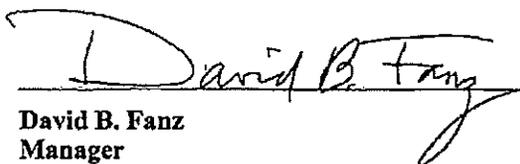
**Jaylin Holdings, LLC - Walmart**

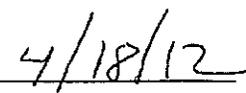
12. Within 30 days following the post-grading construction meeting, the Permittee shall submit a "Mitigation Plan Construction Completion Report" to the DLUR detailing as-built conditions (see below) and any changes to the approved mitigation plan that were made during construction. The report shall contain, at a minimum, the following information:
- a. A completed "Wetland Mitigation Project Completion of Construction Form" (located at <http://www.nj.gov/dep/landuse/forms/index.html>) to certify that the mitigation project has been constructed as designed and that the proposed vernal habitat has been successfully constructed;
  - b. A copy of the approved plan if the mitigation project was built in strict accordance with said plan, or an as-built plan(s) if revisions or alterations were required or occurred, which in either case depicts final grade elevations at one foot contours, includes a table of the species and quantities of vegetation that were planted including any grasses that may have been used for soil stabilization purposes, and depicts the locations of structural components intended to serve critical life functions of the target species of herpetofauna;
  - c. Photos of the constructed wetland mitigation project with a photo location map as well as the GPS waypoints in NJ state plane coordinates NAD 1983.
  - d. Pursuant to the deadlines set forth in the Settlement Agreement, the Permittee may seek notice from DLUR that the vernal pond construction has been satisfactorily constructed in accordance with the approved plans.
13. Subject to complete construction of the vernal pond and pursuant to the Settlement Agreement, the Permittee may start site disturbance, pre-construction earth movement and construction of the Project. However, the Permittee shall monitor the wetland mitigation project for 5 full growing seasons beginning the year after the mitigation project has been completed. The Permittee shall submit monitoring reports to the Director of the DLUR no later than December 31st of each full monitoring year.

All monitoring reports must include the standard items identified in the checklists entitled Mitigation Project Monitoring Reports: Checklist for Completeness, located at <http://www.nj.gov/dep/landuse/forms/index.html>.

14. Once the required monitoring period for the mitigation project has expired and the Permittee has submitted the final monitoring report, the DLUR shall determine whether the mitigation project is either a success or a failure. This mitigation project will be considered successful if the Permittee demonstrates all of the following:
- a. That the goals of the wetland mitigation project, including creation of desired hydroperiod, demonstrated use and evidence of reproductive activity by target species of herpetofauna, required acreage of wetlands, transition areas, and critical terrestrial habitat, as stated in the approved wetland mitigation proposal and the permit, have been satisfied;
  - b. The site has an 85 percent survival and 85 percent area coverage of the mitigation plantings or hydrophytes which are species native to the area and similar to ones identified on the mitigation planting plan;

- c. The final monitoring report must include documentation demonstrating the site is less than 5 percent occupied by invasive or noxious species such as but not limited to (Source: Snyder, David and Sylvan R. Kaufman. 2004. An overview of nonindigenous plant species in New Jersey. New Jersey Department of Environmental Protection, Division of Parks, and Forestry, Office of Natural Lands Management, Natural Heritage Program, Trenton, New Jersey. 107 pages.): *Acer platanoides* (Norway Maple), *Ailanthus altissima*, (Tree of Heaven), *Allaria petiole* (Garlic mustard), *Ampelopsis brevipedunculata* (Porecelain berry), *Artemisia biennis* (Biennial wormwood) *Artemisia vulgaris* (Mugwort or Common wormwood), *Berberis thunbergii* (Japanese barberry), *Berberis vulgaris* (Common barberry), *Carex kobomugi* (Japanese sedge), *Celastrus orbiculatus* (Asian Bittersweet), *Centaurea biebersteiniior maculosa* (Spotted knapweed), *Cirsium arvense* (Canadian thistle), *Dipsacus fillonum* (Wild teasel), *Dipsacus laciniatus* (Cut-leaf teasel), *Elaeagnus angustifolia* (Russian olive), *Elaeagnus umbellata* (Autumn olive), *Euonymus alata* (Winged spindletree), *Lespedeza cuneata* (Chinese bush-clover), *Ligustrum obtusifolium* (Japanese privet), *Ligustrum vulgare* (Common privet), *Lonicera japonica* (Japanese honeysuckle), *Lonicera morrowii* (Morrow's bush honeysuckle), *Lonicera tartarica* (Tartarian honeysuckle), *Lythrum salicaria* (Purple loosestrife), *Melilotus officinalis* (Yellow sweetclover), *Microstegium vimineum* (Japanese stiltgrass), *Myriophyllum spicatum* (Eurasian water-milfoil), *Phalaris arundinacea* (Reed canary grass), *Phragmites australis* (Common reed grass), *Polygonum cuspidatum* (Japanese knotweed), *Polygonum perfoliatum* (Mile-a-minute), *Potamogeton crispus* (Curly leaf pondweed), *Pueraria montana* (Kudzu), *Ranunculus ficaria* (Lesser celandine), *Rhamnus cathartica* (Common buckthorn), *Robinia pseudoacacia* (Black locust), *Rosa multiflora* (Multiflora rose), *Rubus phoenicolasius* (Wineberry), *Typha latifloia* (Broad-leaved cattail), *Typha angustifolia* (Narrowed leaved cattail);
- d. The Permittee's mitigation requirement shall not be deemed to have been satisfied unless or until the DLUR confirms in writing via a Mitigation Completion Letter that the vernal habitat creation project satisfied the permit's vernal habitat mitigation requirement;
- e. If the mitigation project is considered a failure, the Permittee is required to submit a revised mitigation plan. That plan will describe the steps that will be taken to rectify the failed aspects of the Project. The revised mitigation plan shall be submitted within 30 days of receipt of the letter from the DLUR indicating the wetland mitigation project was a failure.
15. No additional impervious coverage shall be added to the Project without a written modification to this permit.
16. The Department reserves the right to review and approve or to disapprove all future modifications or revisions required as the result of review by any local, county, State or Federal entity to ensure compliance with this permit and the applicable regulations.
17. Prior to site disturbance, pre-construction earth movement or construction of the Project, the Permittee shall obtain all other necessary local, County, State and Federal construction approval, including but not limited to Treatment Works Approval, Ocean County Soil Conservation District, Ocean County Planning Board, and Air Pollution Control permits.

  
David B. Fanz  
Manager  
Bureau of Coastal Regulation

  
Date



## State of New Jersey

Department of Environmental Protection

Land Use Regulation Program  
P.O. Box 439, Trenton, NJ 08625-0439  
Fax # (609) 292-8115  
Fax # (609) 777-3656  
www.state.nj.us/landuse

James E. McGreevey  
Governor

Bradley M. Campbell  
Commissioner

Ian M. Borden  
Property Development Services, Inc.  
700 Hooper Avenue  
Toms River, NJ 08755

MAY 18 2004

RE: Letter of Interpretation/Line Verification  
File No.: 1500-04-0001.1  
Activity No: FWW040001  
Applicant: Jaylin Holdings, LLC  
Block: 44, Lots: 2, 3 & 5  
Township of Manchester, Ocean County  
Block: 505, Lots: 14 & 15  
Township of Dover, Ocean County

Dear Mr. Borden:

This letter is in response to your request for a Letter of Interpretation to verify the jurisdictional boundary of the freshwater wetlands and waters on the referenced property.

In accordance with agreements between the State of New Jersey Department of Environmental Protection, the U.S. Army Corps of Engineers Philadelphia and New York Districts, and the U.S. Environmental Protection Agency, the NJDEP, Land Use Regulation Program is the lead agency for establishing the extent of State and Federally regulated wetlands and waters. The USEPA and/or USACOE retain the right to reevaluate and modify the jurisdictional determination at any time should the information prove to be incomplete or inaccurate.

Based upon the information submitted, and upon a site inspection conducted on May 4, 2004, the Land Use Regulation Program has determined that the wetlands and waters boundary line(s) as shown on the plan map consisting of one sheet entitled "WETLANDS LOCATION SURVEY, BLOCK 44, LOTS 2, 3 & 5, MANCHESTER TOWNSHIP, BLOCK 505, LOTS 14 & 15, DOVER TOWNSHIP, OCEAN COUNTY, NEWJERSEY," dated 6/21/95, last revised 10/23/96, and prepared by Lynn M. Robinson, PLS of Christie-Werner Associates, Inc. is accurate as shown for the property in question.

Any activities regulated under the Freshwater Wetlands Protection Act proposed within the wetlands or transition areas or the deposition of any fill material into any water area, will require a permit from this office unless exempted under the Freshwater Wetlands Protection Act, N.J.S.A. 13:9B-1 et seq., and implementing rules, N.J.A.C. 7:7A. A copy of this plan, together with the information upon which this boundary determination is based, has been made part of the Program's public records.

Jaylin Holdings, LLC  
File #1500-04-0001.1 Activity #FWW040001  
Page 2 of 2

Pursuant to the Freshwater Wetlands Protection Act Rules (N.J.A.C. 7:7A-1 et seq.), you are entitled to rely upon this jurisdictional determination for a period of five years from the date of this letter.

The freshwater wetlands and waters boundary line(s), as determined in this letter, must be shown on any future site development plans. The line(s) should be labeled with the above LURP file number and the following note:

"Freshwater Wetlands/Waters Boundary Line as verified by NJDEP, File #1500-04-0001.1, Activity #FWW040001."

In addition, the Department has determined that the wetlands on and adjacent to the property are of intermediate resource and the standard transition area or buffer required adjacent to these wetlands is 50 feet. It should be noted that this determination of wetland classification is based on the best information presently available to the Department. The classification is subject to change if this information is no longer accurate, or as additional information is made available to the Department, including, but not limited to, information supplied by the applicant.

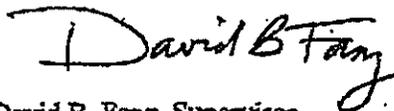
In addition, all wetlands that are a tributary to Barnegat Bay are designated as a "Priority Wetland" by the U.S. Environmental Protection Agency. This classification may affect the requirements for an Individual Wetlands Permit (see N.J.A.C. 7:7A-7), the types of Statewide General Permits available for the wetlands portion of this property (see N.J.A.C. 7:7A-4) and any modification available through a transition area waiver (see N.J.A.C. 7:7A-6). Please refer to the Freshwater Wetlands Protection Act (N.J.S.A. 13:9B-1 et seq.) and implementing rules for additional information.

This letter in no way legalizes any fill, which may have been placed, or other regulated activities, which may have occurred on-site. Also this determination does not affect your responsibility to obtain any local, State, or Federal permits which may be required.

In accordance with N.J.A.C. 7:7A-1.7, any person who is aggrieved by this decision may request a hearing within 30 days of the decision date by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, P.O. Box 402, Trenton, NJ 08625-0402. This request must include a completed copy of the Administrative Hearing Request Checklist.

Please contact Ryan J. Anderson of our staff at (609) 292-8262 should you have any questions regarding this letter. Be sure to indicate the Program's file number in all communication.

Sincerely,



David B. Fanz, Supervisor  
Bureau of Coastal Regulation

c: Manchester Township Clerk  
Manchester Township Construction Official  
Dover Township Clerk  
Dover Township Construction Official



**STATE OF NEW JERSEY**  
**DEPARTMENT OF ENVIRONMENTAL PROTECTION**  
*(See Issuing Division below)*



The New Jersey Department of Environmental Protection grants this permit in accordance with your application, attachments accompanying same application, and applicable laws and regulations. This permit is also subject to the further conditions and stipulations enumerated in the supporting documents which are agreed to by the permittee upon acceptance of the permit.

Permit No. 1500-04-0001.1    FHA04.0001.1		Permit Type Stream Encroachment Permit	
Issuance Date March 4, 2005	Effective Date March 4, 2005	Expiration Date March 4, 2010	
Name and Address of Applicant Jaylin Holdings, I.I.C Dover Esplanade Building 1 1027 Hooper Avenue Toms River, NJ 08753		Name and Address of Owner and/or Operator	
Location of Activity Lot/s: 14,15/2,3,4,5 Block: 505/44	Issuing Division Land Use Regulation Program	Statute(s) N.J.S.A. 58:16A-50 N.J.S.A. 58:10A	

This permit grants permission:

To establish stream encroachment lines along an unnamed tributary to Sunken Branch, in connection with the construction of a Wal-Mart shopping center, located immediately southwest of the intersection of State Highway 37 and Northampton Boulevard, situated within Lots 14 and 15 of Block 505, in Dover Township, and Lots 2 through 5 of Block 44 in Manchester Township, Ocean County, New Jersey.

Prepared By: \_\_\_\_\_

Vincent J. Mazzei, Jr., P.E.

(See page 4 for manager's signature.)

Revised Date	Approved by the Department of Environmental Protection		
	Name (Print or Type) _____	Title _____	
	Signature _____	Title _____	

**Stream Encroachment Permit No. 1500-04-0001.1 FHA040001  
Terms And Conditions****PAGE 2****This permit is subject to the following terms and conditions:**

1. This permit is revocable, or subject to modification or change at any time, pursuant to the applicable regulations, when in the judgement of the Department of Environmental Protection of the State of New Jersey such revocation, modification or change shall be necessary.
2. The issuance of the permit shall not be deemed to affect in any way action by the Department of Environmental Protection of the State of New Jersey on any future application.
3. The works, facilities, and/or activities shown by plans and/or other engineering data, which are this day approved, subject to the conditions herewith established, shall be constructed and/or executed in conformity with such plans and/or engineering data and the said conditions.
4. No change in plans or specifications shall be made except with the prior written permission of the Department of Environmental Protection of the State of New Jersey.
5. The granting of this permit shall not be construed to in any way affect the title or ownership of property, and shall not make the Department of Environmental Protection or the State a party in any suit or question of ownership.
6. This permit does not waive the obtaining of Federal or other State or local government consent when necessary. This permit is not valid and no work shall be undertaken until such time as all other required approvals and permits have been obtained.
7. A copy of this permit shall be kept at the work site, and shall be exhibited upon request of any person.
8. In cases of conflict, the conditions of this permit shall supersede the plans and/or engineering data.
9. **Limit and Extent of Approval**
  - a. This approval grants permission to the applicant and/or its agents to undertake an activity regulated by the State of New Jersey as described by the text of this permit and as detailed by the herein approved plans. Any construction, grading, removal of vegetation, or other activity at this site within or affecting a regulated flood plain, other than specifically approved by this permit or as detailed by the approved drawings, shall require additional approvals from the Department. The commencement of such regulated activities without the appropriate approvals shall be in violation of State law.
  - b. All activities authorized by this permit shall be completed within five years of the issuance date as listed on the first page of this document. At that time, this approval, if not previously revoked, shall automatically become null and void, and none of the activities referenced herein may commence or continue until a new approval has been granted by the Department.
10. **Method of Construction**
  - a. All activities approved by this permit shall be performed under the supervision and direction of a Professional Engineer licensed in the State of New Jersey, and shall be undertaken using the best management practices available. Furthermore, the site shall be subject to inspection at any time by representatives of the Department to ensure the continuous application of the provisions of this permit.

**Stream Encroachment Permit No. 1500-04-0001.1 FIA040001  
Terms And Conditions**

**PAGE 3**

- b. During the course of construction, neither the applicant nor its agents shall cause or permit any unreasonable interference with the free flow of the stream by placing or dumping any materials, equipment, debris or structures within or adjacent to the stream corridor. Upon completion or abandonment of the work, the applicant and/or its agents shall remove and dispose of in a lawful manner all excess materials, equipment and debris from the stream corridor and adjacent lands.
- c. All activities authorized by this permit shall be stabilized in accordance with the *Standards for Soil Erosion and Sediment Control in New Jersey* (obtainable from local Soil Conservation District offices), or equal engineering specifications, to prevent eroded soil and sediment from entering adjacent waterways and wetlands at any time during and subsequent to construction. The Department reserves the right to order the suspension of any activity if unacceptable levels of erosion or turbidity result from the same. Furthermore, the applicant shall maintain the stream corridor as shown on the approved drawing/s for either such time as is required for the channel and/or banks to become reasonably stabilized, or for one year after completion of the project (as evidenced by a Certificate of Completion), whichever period of time is longer.

**11. Responsibilities of Applicant**

- a. The granting of this permit does not in any way relieve the applicant and/or its agents from the responsibility for damages caused by any construction or activities hereby approved, nor does the Department accept responsibility for any structural designs.
  - b. No construction authorized by this permit may begin until the enclosed **permit acceptance form** has been signed by the applicant and is returned to the Department. By signing and submitting this form, the applicant accepts this permit in its entirety and agrees to adhere to all of its terms and conditions. Please be advised that this permit may be declared null and void should it be determined that adequate measures had not been taken by the applicant and/or its agents to ensure the continuous implementation of these terms and conditions.
  - c. Within ten (10) days of the receipt of this permit by the applicant, this permit shall be recorded in its entirety in the office of the County Clerk or the Registrar of Deeds and Mortgages for each county where this permit is located. Verified notice of this action shall be forwarded to the Department immediately thereafter.
  - d. The enclosed **construction notice** shall be completed by the applicant or its agent and submitted to the Department at least fourteen (14) days prior to the commencement of the herein approved activities.
  - e. The enclosed **completion report** shall be completed by a Professional Engineer licensed in the State of New Jersey and submitted to the Department within thirty (30) days after completion of the herein approved activities.
12. The applicant must obtain all necessary local, federal, and other State approvals prior to the commencement of the herein-permitted activities. Specifically, please note that approvals from the local Soil Conservation District may be required.
13. The applicant must make specific arrangements to ensure the continuous maintenance and efficient operation of all proposed water quality measures on site. This includes, but is not limited to, the cleaning and inspection of all water quality inlets at least twice a year and after every major storm, and the continuous implementation of appropriate soil conservation practices within any grassed swales, storm water outfall structures and other similar appurtenances throughout the site in order to limit soil erosion and sediment discharge into adjacent waterways.

**Stream Encroachment Permit No. 1500-04-0001.1 FHA040001  
Terms And Conditions****PAGE 4**

14. Trees, shrubs, grasses, and other vegetation within 25 feet from the top of all stream banks on site shall not be disturbed for any reason, except as approved by the Department and as shown on the approved site plans. This condition applies to all streams and waterways on site, regardless of the contributory drainage area.
15. All land lying between the lines labeled "STREAM ENCROACHMENT LINE", as shown on the approved drawings, shall be reserved for the passage of floodwaters and for the preservation of near stream vegetation and wildlife. No construction, grading, removal of vegetation or other disturbance is permitted within this area except for that which is specifically approved by this permit and detailed on the approved drawings.

**16. Consistency With Areawide Water Quality Management Plan**

This project has not been reviewed for consistency with the relevant Water Quality Management Plan or the Statewide Water Quality Management Planning Rules (N.J.A.C. 7:15). As such, there is no intended or implied approval regarding additional permits, which may be required by the Department. For treatment works approvals, the consistency determination will be performed by the Bureau of Engineering and Permitting (North/South) which may be reached at (609) 292-6894 for North (Middlesex, Hunterdon and counties north) or (609) 633-1169 for South (Mercer, Monmouth and counties south). For general information concerning water quality management planning process, please contact the Office of Environmental Planning at (609) 633-1179.

17. The Department has approved this stream encroachment permit because the submitted project satisfies the requirements of the Flood Hazard Area Control Act Rules. The decision to approve this permit does not in any way indicate that the required CAFRA permit and Freshwater Wetlands approvals will also be approved. No construction may begin until all necessary approvals are obtained from the Department.
18. The drawings hereby approved are 21 sheets prepared by Bohler Engineering, dated 8/6/2004 and last revised 11/1/2004 unless noted otherwise, entitled:

"PROPOSED WAL\*MART 195SC (STORE #1844-05) PRELIMINARY & FINAL MAJOR SITE PLAN & MINOR SUBDIVISION N.J.S.H. ROUTE #37 & NORTHAMPTON BOULEVARD BLOCK 44, LOTS 2, 3, PART OF LOT 4 & 5, MANCHESTER TWP. BLOCK 505, LOT 14, 15, DOVER TWP. OCEAN COUNTY, NJ."

"OVERALL SITE PLAN", sheet 5 of 27;

"SITE PLAN", sheets 6 through 8 of 27;

"GRADING & DRAINAGE PLAN", sheets 6 through 11 of 27;

"UTILITY PLAN", sheets 12 through 14 of 27;

"DETAIL SHEET", sheets 22 through 27 of 27;

"OPERATION & MAINTENANCE PLAN NOTES", sheets 2 and 3 of 6, dated 10/20/2004 and unrevised; and

"STORMWATER MANAGEMENT FACILITY OPERATIONS & MAINTENANCE PLAN", sheets 4 through 6 of 6, dated 10/20/2004 and unrevised.

  
Kevin Broderick, Manager  
Bureau of Coastal Regulation

3/4/05  
Date



State of New Jersey  
Department of Environmental Protection

Richard J. Codey  
Acting Governor

Bradley M. Campbell  
Commissioner

Land Use Regulation Program  
P.O. Box 439, Trenton, NJ 08625-0439  
Fax # (609) 292-8115  
www.state.nj.us/dep/landuse

BOHL46053  
MAR 18 2005  
050227  
JHC, CE, TBH

Dear Sir or Madam:

Enclosed, please find an approved construction permit. Please read it carefully and return the attached *permit acceptance form* if you agree with our decision. Construction may begin only after you have completed and returned this form. The project manager listed on the first page is available to discuss any concerns or questions you may have. If you consider yourself aggrieved by our decision, you may also request a hearing by completing the requirements of the attached *administrative hearing request checklist and tracking form*.

Please keep your permit and any approved drawings at the construction site for the duration of the project. It is helpful if you have the proper documentation readily available when my staff inspects your work. If you have received a stream encroachment permit, please complete and return the attached construction notice at least fourteen days before construction is scheduled to begin. For all permits, please complete and return the attached *completion notice*, properly signed and sealed by a professional engineer licensed in New Jersey, within thirty days of the completion of the project.

If a tidelands grant, lease or license is required as a permit condition, this permit is not valid until the Bureau of Tidelands Management has delivered the necessary conveyances. Construction prior to the receipt of the necessary conveyances is in violation of State law and will subject you to fines up to \$1000.00 plus \$100.00 per day. Furthermore, the cost for the tidelands instrument may be higher since the property claimed will be appraised as improved property. You may be required to remove any unauthorized structures placed in tidelands claimed areas.

Sincerely,

*Mark D. Mauriello*

Mark Mauriello, Director  
Land Use Regulation Program

w/attachments

# CONSTRUCTION REPORT

Mail to:

State of New Jersey  
Department of Environmental Protection  
Land Use Regulation Program  
P.O. Box 439  
Trenton, New Jersey 08625

Review Engineer: \_\_\_\_\_

Engineer Section: \_\_\_\_\_

Permit Number/s: \_\_\_\_\_

Date Issued: \_\_\_\_\_

Applicant: \_\_\_\_\_

Name of Project: \_\_\_\_\_

Municipality/County: \_\_\_\_\_

Date Construction is to Begin: \_\_\_\_\_

Thereby give notice that construction will begin on the above noted project on the date stated above (must give at least 14 days notice). Also, as required by condition 7 of the stream encroachment permit, a copy of the above referenced permit/s along with all approved drawings shall be available for inspection at the project site throughout construction.

Engineer's Signature and Seal: \_\_\_\_\_

New Jersey License Number: \_\_\_\_\_

Date: \_\_\_\_\_

# COMPLETION REPORT

Mail to:

State of New Jersey  
Department of Environmental Protection  
Land Use Regulation Program  
P.O. Box 439  
Trenton, New Jersey 08625

Review Engineer: \_\_\_\_\_

Engineer Section: \_\_\_\_\_

Permit Number/s: \_\_\_\_\_

Date Issued: \_\_\_\_\_

Applicant: \_\_\_\_\_

Name of Project: \_\_\_\_\_

Municipality/County: \_\_\_\_\_

Date of Completion: \_\_\_\_\_

The undersigned hereby certifies that all activities approved by the Department within the above referenced permit/s have been constructed and completed in accordance with the plans approved therein, that said project is in compliance with all terms and conditions of the same, and that all unauthorized encroachments have been removed.

Engineer's Signature and Seal: \_\_\_\_\_

New Jersey License Number: \_\_\_\_\_

Date: \_\_\_\_\_

# ACCEPTANCE OF REVOCABLE CONSTRUCTION PERMIT/S

Mail to:

State of New Jersey  
Department of Environmental Protection  
Land Use Regulation Program  
P.O. Box 439  
Trenton, New Jersey 08625

Review Engineer: \_\_\_\_\_

Engineering Section: \_\_\_\_\_

Permit Number(s): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date Issued: \_\_\_\_\_

The undersigned hereby accepts the above referenced revocable permit/s, subject to the terms and conditions included therein, including but not limited to the right of the State to revoke said permit/s with cause, and also subject to all provisions of law, rules, and regulations of any applicable government agency.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title/Affiliation: \_\_\_\_\_

Attest: \_\_\_\_\_

(To be properly witnessed, signed, and sealed)

Pag

Adjudicatory Hearing Request Checklist and Tracking Form

I. Permit Decision or Other Department Decision Being Appealed:

Issuance Date of Decision Document Document Number (if any)

II. Name of Person Requesting Hearing Name of Attorney (if applicable)

Address Address

Telephone No. Telephone No.

III. If you are the applicant or permittee, please include the following information with your hearing request:

- A. The date you received the permit decision or other decision which you are appealing;
B. A copy of the decision document;
C. The findings of fact and conclusions of law you are appealing;
D. A statement as to whether or not you raised each legal and factual issue during the permit application process;
E. Suggested revised or alternative permit conditions;
F. An estimate of the time required for the hearing;
G. A request, if necessary, for a barrier-free hearing location for physically disabled persons;
H. A clear indication of any willingness to negotiate a settlement with the Department prior to the Department's processing of your hearing request to the Office of Administrative Law; and
I. This form, completed, signed and dated with all of the information listed above, including attachment to:

1. New Jersey Department of Environmental Protection
Office of Legal Affairs
Attention: Adjudicatory Hearing Requests
401 E. State Street
P.O. Box 402
Trenton, NJ 08625-0402;

with a copy to:

2. New Jersey Department of Environmental Protection
Land Use Regulation Program
Attention: Director
501 E. State Street
P.O. Box 439
Trenton, NJ 08625-0439

Signature: Date:

IV. If you are a person other than the applicant or permittee, please include the following information with your hearing request:

- A. The date you or your agent received notice of the permit decision, and a copy of the permit decision;
- B. Evidence that a copy of your hearing request has been delivered to the applicant for the permit decision which is the subject of your hearing request (e.g., certified mail return receipt);
- C. A detailed statement of which findings of fact and/or conclusion of law you are challenging;
- D. A description of your participation in any public hearings held in connection with the permit application and copies of any written comments you submitted;
- E. Whether you claim a statutory or constitutional right to a hearing, and, if you claim such a right, a reference to the applicable statute or an explanation of how your interests are affected by the permit decision;
- F. Suggested revised or alternative permit conditions;
- G. An estimate of the time required for the hearing;
- H. A request, if necessary, for a barrier-free hearing location for physically disabled persons;
- I. A clear indication of any willingness to negotiate a settlement with the Department prior to the Department's processing of the hearing request to the Office of Administrative Law; and
- J. This form, completed, signed and dated with all the information listed above, including attachments to:

1. New Jersey Department of Environmental Protection  
 Office of Legal Affairs  
 Attention: Adjudicatory Hearing Requests  
 401 East State Street  
 P.O. Box 402  
 Trenton, NJ 08625-0402

with a copy to:

2. New Jersey Department of Environmental Protection  
 Land Use Regulation Program  
 Attention: Director  
 501 E. State Street  
 P.O. Box 439  
 Trenton, NJ 08625-0439

V. Signature: \_\_\_\_\_ Date: \_\_\_\_\_



A GANNETT COMPANY  
**ASBURY PARK PRESS** | APP.com

**Agency:**  
 GENOVA, BURNS & VERNOIA  
 GENOVA, BURNS & VERNOIA  
 494 BROAD ST  
 NEWARK, NJ 07102  
 ATTN: Kelly Brennan

**Client:** GENOVA, BURNS & VERNOIA  
 494 BROAD ST,  
 NEWARK, NJ 07102  
 Acct No: ASB-182082

Acct: ASB-182082

Order #	Advertisement/Description	# Col x # Lines	Rate Per Line	Cost
0002767874	OCEAN COUNTY LEGAL NOTICE TAKEN NOTICE THAT A MINOR CIVIL CASE HAS BEEN ADMITTED TO THE COURT RECORD	2 col x 80 lines	\$0.55	\$0.00
		Affidavit of Publication Charge	1	\$35.00
		Tearsheet Charge	0	\$0.00
		Net Total Due:		123.00

Run Dates: 03/04/18

Check #: \_\_\_\_\_

Date: \_\_\_\_\_

**CERTIFICATION BY RECEIVING AGENCY**  
 I, HAVING KNOWLEDGE OF THE FACTS, CERTIFY AND DECLARE THAT THE GOODS HAVE BEEN RECEIVED OR THE SERVICES RENDERED AND ARE IN COMPLIANCE WITH THE SPECIFICATIONS OR OTHER REQUIREMENTS. AND SAID CERTIFICATION IS BASED ON SIGNED DELIVERY SLIPS OR OTHER REASONABLE PROCEDURES OR VERIFIABLE INFORMATION.

SIGNATURE: \_\_\_\_\_

TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATION BY APPROVAL OFFICIAL**  
 I CERTIFY AND DECLARE THAT THIS BILL OR INVOICE IS CORRECT, AND THAT SUFFICIENT FUNDS ARE AVAILABLE TO SATISFY THIS CLAIM. THE PAYMENT SHALL BE CHARGEABLE TO

APPROPRIATION ACCOUNT(S) AND AMOUNTS CHARGED P.O. # \_\_\_\_\_

SIGNATURE \_\_\_\_\_

TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**CLAIMANT'S CERTIFICATION AND DECLARATION:**  
 I DO SOLEMNLY DECLARE AND CERTIFY UNDER THE PENALTIES OF THE LAW THAT THIS BILL OR INVOICE IS CORRECT IN ALL ITS PARTICULARS; THAT THE GOODS HAVE BEEN FURNISHED OR SERVICES HAVE BEEN RENDERED AS STATED HEREIN; THAT NO BONUS HAS BEEN GIVEN OR RECEIVED BY ANY PERSON OR PERSONS WITHIN THE KNOWLEDGE OF THIS CLAIMANT IN CONNECTION WITH THE ABOVE CLAIM; THAT THE AMOUNT HEREIN STATED IS JUSTLY DUE AND OWING; AND THAT THE AMOUNT CHARGED IS A REASONABLE ONE.

Date: 03/12/2018

Signature: K. Marans

Federal ID #: 061032273

Official Position: Clerk

Kindly return a copy of this bill with your payment so that we can assure you proper credit.

**Asbury Park Press**  
 New Jersey Press Media Solutions  
 P.O. Box 677599  
 Dallas, TX 75267-7599

AFFIDAVIT OF PUBLICATION

Publisher's Fee \$88.00 Affidavit \$35.00

State of New Jersey } SS.  
Monmouth/Ocean Counties

Personally appeared K. Marand

Of the **Asbury Park Press**, a newspaper printed in Freehold, New Jersey and published in Neptune, in said County and State, and of general circulation in said county, who being duly sworn, deposeth and saith that the advertisement of which the annexed is a true copy, has been published in the said newspaper I times, once in each issue as follows:

03/04/18 A.D 2018

Melanie Galtz  
Notary Public of New Jersey



OCEAN COUNTY

LEGAL NOTICE

Take Notice that an individual CAFRA permit application has been submitted to the New Jersey Department of Environmental Protection, Division of Land Use Regulation for the development described below:

APPLICANT NAME: Jaylin Holdings, L.L.C., c/o Grunin Properties

APPLICANT MAILING ADDRESS: 1027 Hooper Ave. Dover Esplanade Building, Building 1, Toms River, New Jersey 08753

PROJECT NAME: Proposed Retail Development

PROJECT DESCRIPTION: The proposed development includes one (1) 111,186-SF retail building, three (3) 4,800-SF restaurants and one (1) 9,322-SF retail building. Also included is the associated parking, circulation, utilities, stormwater management, landscaping and lighting associated with these uses. Five hundred and sixty-seven (567) parking spaces are proposed for the entire development. A stormwater management system that utilizes three above-ground basins has been designed to accommodate the development.

PROJECT STREET ADDRESS: Southwest Corner of New Jersey State Highway Route 37 and Northampton Boulevard in Toms River and Manchester Townships

BLOCK: 505
LOTS: 14 and 15
MUNICIPALITY: Toms River Township
COUNTY: Ocean
BLOCK: 44
LOTS: 2, 3, 4, 5 and 9
BLOCK: 75.01
LOTS: 3
MUNICIPALITY: Manchester Township
COUNTY: Ocean

A complete copy of the individual CAFRA permit application is available to be reviewed at either the municipal clerk's office or by appointment at the Department's Trenton Office. A 30-calendar-day public comment period or public hearing will be held on this application in the future. A public hearing will be held only if the Department determines that, based on public comment or a review of the project, its scope and environmental impact, that additional information is necessary to assist in its review or evaluate potential impacts and that this information can only be obtained by providing an opportunity for a public hearing. Individuals may request that the Department hold a public hearing on this application. Requests for a public hearing shall be made in writing within 15 calendar days of the date of this notice and shall state the specific nature of the issues proposed to be raised at the hearing. Hearing requests should be sent to:

New Jersey Department of Environmental Protection
Division of Land Use Regulation
P.O. Box 420, Code 501-02A
Trenton, New Jersey 08625-0420

Attn: Toms River Bureau Chief
Or
Attn: Manchester Bureau Chief

(\$88.00)

# TOWNSHIP OF TOMS RIVER

33 Washington Street, P.O. Box 728  
Toms River, NJ 08754  
732-341-1000  
Fax 732-341-0828



Department of Engineering and Community Development

December 1, 2017

Genova Burns Attorney At Law  
494 Broad Street  
Newark, NJ 07102  
kbrennan@genovaburns.com

RE: PROPERTY OWNERS LIST  
BLOCK (TR) 505 & (Manchester) 44 LOT 14 & 15; 2, 3, 4, 5 & 9

To Whom It May Concern:

Enclosed please find a completed Property Owners List for the above referenced property per your recent request submitted to the Township of Toms River.

Please be advised that any future requests for Property Owners Lists must be sent to the following:

Township of Toms River  
Department of Engineering and Community Development  
33 Washington Street  
Toms River, NJ 08753

ATTN: PROPERTY OWNERS LISTS

This will enable this office to handle the request with the prompt service required.

Please note that I can mail these lists electronically to you. This will allow you to receive the lists days before the postal service will get them to you. On your next request include an email address and indicate that you would like the information emailed to you.

Should you have any questions, please call me at 732-341-1000 x8341 or email me at [bweiner@tomsrivertownship.com](mailto:bweiner@tomsrivertownship.com).

Respectfully submitted:

A handwritten signature in black ink, appearing to read "Brendan T. Weiner".

Brendan T. Weiner, MBA, GISP  
Administrative Engineer

*"HOMO COGITAT, DEUS INDICAT"*

Block(s) 505  
 Lot(s) 14, 15

TOWNSHIP OF TOMS RIVER  
 Property Owners List

33 Washington Street, P.O. Box 728  
 Toms River, NJ 08754  
 732-341-1000 Fax 732-341-0828

ID	Block	Lot	Qualifier	Add Lots	Property Location	Addressee	Address	Town, State	Zip	Send to the Attention
1	504	1			1591 ROUTE 37 WEST	BENN ASSOCIATES LLC	500 BOARDWALK	SEASIDE HEIGHTS, NJ	08751	
2	504	9			8 EXECUTIVE DRIVE	STEFANACCI, JOSEPH	35 PILOT ROAD	TOMS RIVER NJ	08753	
3	505	8			7 EXECUTIVE DRIVE	TRARK REALTY LLC	904 SEA GIRT AVENUE	SEA GIRT, NJ	08750	
4	505	14			31 NORTHAMPTON BLVD	JAYLIN HOLDINGS LLC	1027 HOOPER AVE BLDG 1	TOMS RIVER, NJ	08753.8363	
5	505	15			1641 ROUTE 37 WEST	JAYLIN HOLDINGS L L C	1027 HOOPER AVE, BLDG 1	TOMS RIVER, NJ	08753.8363	
6	3000	1			RAILROAD	CONRAIL	6 PENN CENTER PLAZA	PHILADELPHIA, PA	19103	
7						NJ Natural Gas Co	P.O. Box 1378	Wall, NJ	07719	ROW Representative
8						NJ-American Water Co, Inc.	1025 Laurel Oak Road	Voorhees, NJ	08043	Donna Short, GIS Super.
9						United Water	1451 Route 37 West	Toms River, NJ	08753	General Manager
10						Comcast Cable Communications	830 Route 37 West	Toms River, NJ	08755	Construction Sup.
11						Toms River Municipal Utilities Authority	340 West Water St	Toms River, NJ	08753	
12						JCP&L, A First Energy Company	331 Newman Springs Road Bldg. 3 Suite 325	Red Bank, NJ	07701	
13						NJ Department of Transportation	1035 Parkway Ave	Trenton, NJ	08625	
14						Township of Berkeley	627 Piniewald-Keswick Rd. Box B	Bayville, NJ	08721	Clerk
15						Township of Manchester	1 Colonial Drive	Manchester, NJ	08759	Clerk

MUNICIPAL COMPLEX  
627 Pinewald Keswick Road  
P.O. Box B  
Bayville, NJ 08721-0287

OFFICE OF THE TAX ASSESSOR  
Phone: (732) 244-7400  
Fax: (732) 341-5944

BERKELEY



TOWNSHIP

PUBLIC UTILITY LIST

To Whom It May Concern:

Pursuant to P.L. 1991, Chapter 245, approved August 7, 1991, the following is a list of the public utilities serving Berkeley Township to be notified.

The listing of any public utility company by this office shall not be construed as compliance with any provisions of the MUNICIPAL LAND USE LAW concerning notice to the public utility companies, as provided in the August 1991 amendment. Other utilities may exist and not all utilities listed service all areas of Berkeley Township. The applicant is responsible for verification and notification.

STATE OF NJ-DOT  
1035 PARKWAY AVENUE  
TRENTON, N.J. 08618

GARDEN STATE PARKWAY  
NJ HIGHWAY AUTHORITY-PO BOX 5042  
KING GEORGES ROAD  
WOODBIDGE, N.J. 07095-5042

OCEAN COUNTY PLANNING BOARD  
129 HOOPER AVENUE  
TOMS RIVER, N.J. 08753

BERKELEY TOWNSHIP SEWERAGE AUTHORITY  
255 ROUTE 9  
BAYVILLE, N.J. 08721

BERKELEY TOWNSHIP MUA  
42 STATION ROAD  
BAYVILLE, N.J. 08721

AQUA NEW JERSEY INC.  
10 BLACK FOREST ROAD  
HAMILTON, N.J. 08691

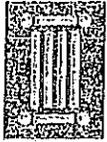
UNITED WATER COMPANY  
1451 ROUTE 37 WEST, SUITE 2  
TOMS RIVER, N.J. 08755

SHORE WATER COMPANY  
P.O. BOX 408  
SEASIDE PARK, N.J. 08752

SEASIDE HEIGHTS WATER COMPANY  
P.O. BOX 38  
SEASIDE HEIGHTS, N.J. 08751

Very truly yours,

Eric L. Zanetti  
Tax Assessor



**GENOVA  
BURNS**  
ATTORNEYS-AT-LAW

Genova Burns LLC  
494 Broad Street, Newark, NJ 07102  
Tel: 973.533.0777 Fax: 973.533.1112  
Web: www.genovaburns.com

Kelly E. Brennan, Esq.  
Member: NJ Bar  
[kbrennan@genovaburns.com](mailto:kbrennan@genovaburns.com)  
Direct: 973.230.2077

November 21, 2017

VIA ELECTRONIC AND REGULAR MAIL

John Battisti, Zoning Officer  
Zoning Department  
Berkeley Township  
627 Pinewald-Keswick Road  
Bayville, NJ 08721

**Re: Jaylin Holdings, LLC**  
**Southwest Corner of New Jersey State Highway Route 37 and**  
**Northampton Boulevard in Toms River and Manchester Townships**  
**Toms River Township: Block 505, Lots 14 and 15**  
**Manchester Township: Block 44, Lots 2, 3, 4, 5 and 9**

Dear Mr. Battisti:

This firm represents Jaylin Holdings, LLC in connection with the referenced property. Kindly provide us with a list of the Berkeley Township property owners within two hundred (200) feet of the above-referenced property located in the Township of Toms River and Manchester Township. Enclosed is a check payable to "Berkeley Township" in the amount of \$10.00 as payment for the list. Once prepared, please email the list to [kbrennan@genovaburns.com](mailto:kbrennan@genovaburns.com) and mail the list to my attention in the enclosed envelope.

Thank you for your anticipated cooperation. Should you have any questions, please feel free to contact me.

Very truly yours,

GENOVA BURNS LLC

  
KELLY E. BRENNAN

KEB  
Enclosures





# BOROUGH OF LAKEHURST

5 Union Avenue  
Lakehurst, New Jersey 08733  
732-657-4141 / Fax: 732-657-3272  
www.lakehurstnj.org

HON. HARRY ROBBINS  
Mayor

November 30, 2017

Kelly Brennan, Esq.  
Genova Burns, LLC  
494 Broad Street  
Newark, NJ 07101

**RE: CERTIFIED LIST OF PROPERTY OWNERS  
MANCHESTER TOWNSHIP: BLOCK 73, LOTS 3 & 4**

Dear Ms Brennan:

I, Bernadette Dugan, Municipal Clerk of the Borough of Lakehurst, County of Ocean, State of New Jersey, do hereby certify that the following represents a list of property owners within two hundred feet of the property designated as Block 73; Lots 3 and 4, located within the Township of Manchester:

Utilities located in and around the Borough of Lakehurst to be notified are as follows:

Comcast  
830 Route 37 West  
Toms River, NJ 08755

Verizon, Engineering Dept.  
P. O. Box 152206  
Irving, Texas 75015

GPU  
400 Lincoln Street  
Phillipsburg, NJ 08865

Ocean County Road Dept.  
P. O. Box 2191  
Toms River, NJ 08754

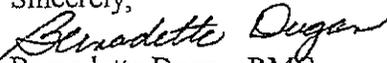
NJDEP  
Box 401  
Trenton, NJ 08625-0401

NJDOT  
P. O. Box 600  
Trenton, NJ 08625-0600

NJ Natural Gas  
P. O. Box 1464  
Wall, NJ 07719

Ocean County Utilities Auth. Borough of Lakehurst  
P. O. Box P Clerk's Office  
Bayville, NJ 08721 5 Union Avenue  
Lakehurst, NJ 08733

87<sup>th</sup> Mission Support Group Commander  
2901 Falcon Lane, Suite 200  
JBase, MDL, NJ 08641

Sincerely,  
  
Bernadette Dugan, RMC  
Municipal Clerk

Enclosures



*"Airship Capital of the World"*

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
12 1	SO UNION AVE	1	FCM LAND MGMT INC 704-1 OLD SHORE RD FORKED RIVER NJ	08731

TOWNSHIP HALL  
Pinewald-Keswick Road  
P.O. Box B  
Bayville, NJ 08721

DIVISION OF ZONING  
Phone: (732) 244-7400  
Ext. 1254 & 1235  
Fax: (732) 557-0214  
zoning@twp.berkeley.nj.us

BERKELEY TOWNSHIP



December 1, 2017

Kelly E. Brennan  
Genova Burns, LLC  
494 Broad Street  
Newark, NJ 07102

Re: Certified Mail List  
Jaylin Holdings, LLC

Dear Ms. Brennan:

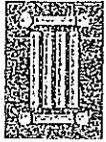
AS per my e-mail, enclosed is the property owner mailing list you recently requested. A list of public utilities is also included. The list has been prepared and certified by the Tax Assessor's Office to be accurate as of the date of this notice.

If you have any questions, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in cursive script, appearing to read "John Battisti".

John Battisti  
Zoning Officer  
Enclosure



**GENOVA  
BURNS**  
ATTORNEYS-AT-LAW

Genova Burns LLC  
494 Broad Street, Newark, NJ 07102  
Tel: 973.533.0777 Fax: 973.533.1112  
Web: www.genovaburns.com

Kelly E. Brennan, Esq.  
Member: NJ Bar  
[kbrennan@genovaburns.com](mailto:kbrennan@genovaburns.com)  
Direct: 973.230.2077

November 21, 2017

VIA ELECTRONIC AND REGULAR MAIL

John Battisti, Zoning Officer  
Zoning Department  
Berkeley Township  
627 Pinewald-Keswick Road  
Bayville, NJ 08721

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Very truly yours,

GENOVA BURNS LLC



KELLY E. BRENNAN

KEB  
Enclosures

PAMS_PIN	BLOCK	LOT	QCODE	Property_L	Owner_s_Na	Owner_s_Ma	City_State	Additional
1506_4.187_23	4.187	23		194 BIABOU DR	KMAK, DIANE & ALBERT, HARRY B	194 BIABOU DR	TOMS RIVER NJ 08757	
1506_4.187_24.01	4.187	24.01		BIABOU DR	HOLIDAY CITY HOMEOWNERS CORP	98 BANANIER DR	TOMS RIVER NJ 08757	
1506_4.182_17.01	4.182	17.01		BONAIRE DR REAR	HOLIDAY CITY HOMEOWNERS CORP	98 BANANIER DR	TOMS RIVER NJ 08757	
1506_4.303_65	4.303	65		CRR OF NJ	CONSOLIDATED RAIL CORP(GREG OLIVER)	110 FRANKLIN RD-BOX 28	ROANOKE VA 24042	

MUNICIPAL COMPLEX  
627 Pinewald Keswick Road  
P.O. Box B  
Bayville, NJ 08721-0287

OFFICE OF THE TAX ASSESSOR  
Phone: (732) 244-7400  
Fax: (732) 341-5944

BERKELEY



TOWNSHIP

PUBLIC UTILITY LIST

To Whom It May Concern:

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STATE OF NJ-DOT  
1035 PARKWAY AVENUE  
TRENTON, N.J. 08618

GARDEN STATE PARKWAY  
NJ HIGHWAY AUTHORITY-PO BOX 5042  
KING GEORGES ROAD  
WOODBIDGE, N.J. 07095-5042

OCEAN COUNTY PLANNING BOARD  
129 HOOPER AVENUE  
TOMS RIVER, N.J. 08753

BERKELEY TOWNSHIP SEWERAGE AUTHORITY  
255 ROUTE 9  
BAYVILLE, N.J. 08721

BERKELEY TOWNSHIP MUA  
42 STATION ROAD  
BAYVILLE, N.J. 08721

AQUA NEW JERSEY INC.  
10 BLACK FOREST ROAD  
HAMILTON, N.J. 08691

UNITED WATER COMPANY  
1451 ROUTE 37 WEST, SUITE 2  
TOMS RIVER, N.J. 08755

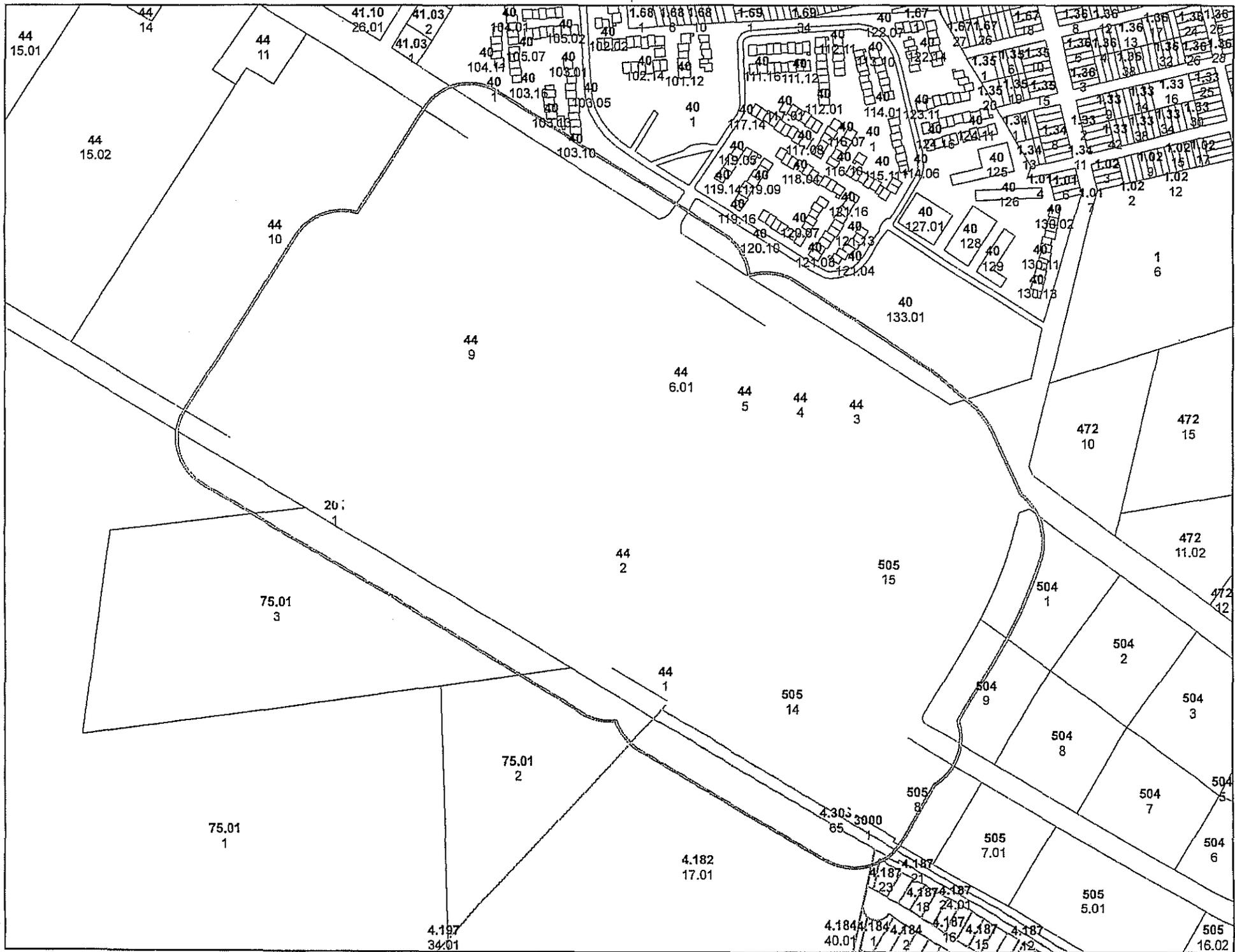
SHORE WATER COMPANY  
P.O. BOX 408  
SEASIDE PARK, N.J. 08752

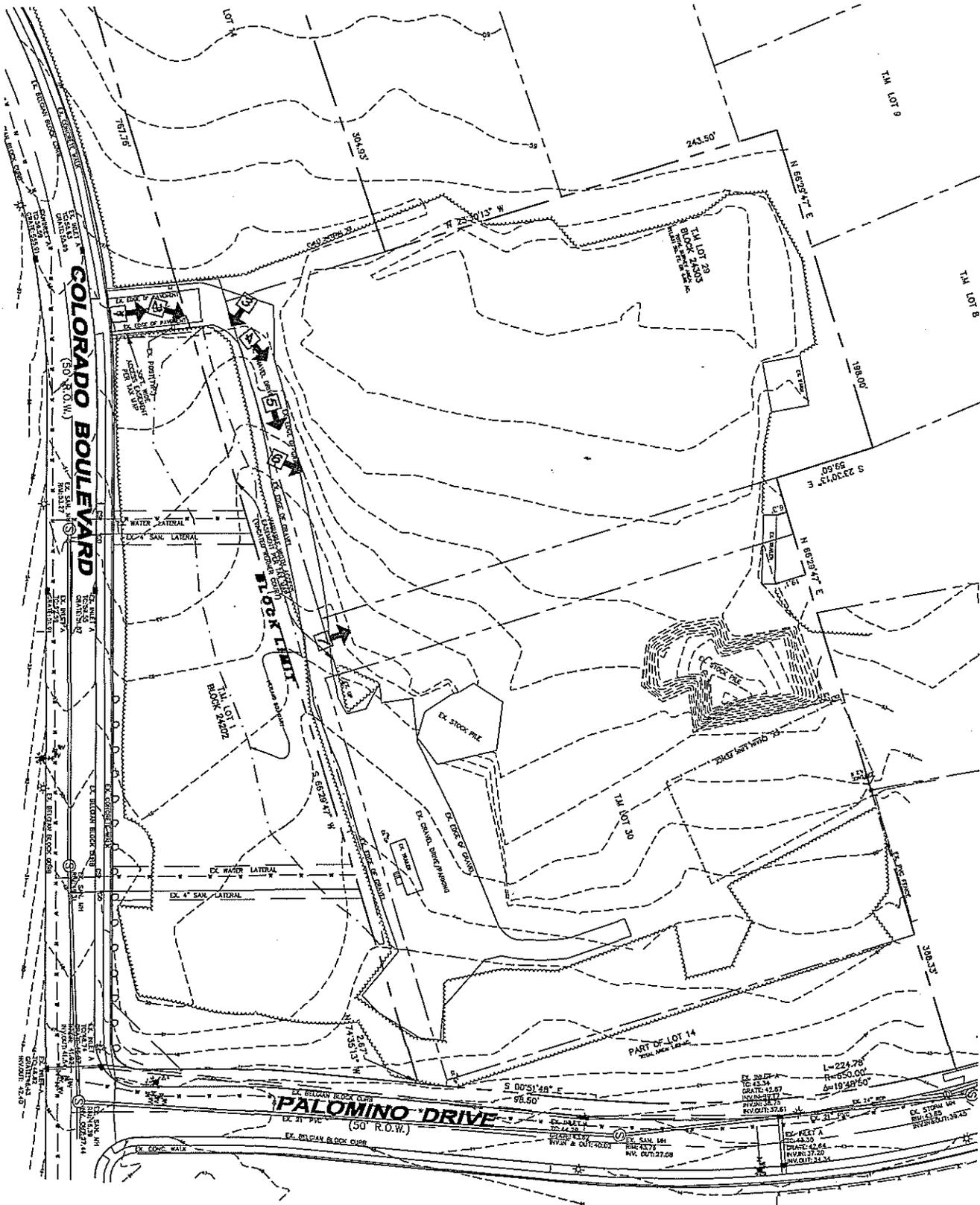
SEASIDE HEIGHTS WATER COMPANY  
P.O. BOX 38  
SEASIDE HEIGHTS, N.J. 08751

Very truly yours,

A handwritten signature in cursive script, reading "Eric L. Zanetti".

Eric L. Zanetti  
Tax Assessor







# MANCHESTER TOWNSHIP

1 COLONIAL DRIVE • MANCHESTER, NJ 08759 • (732) 657-8121

OFFICE OF THE TAX ASSESSOR

MARTIN LYNCH, CTA  
TAX ASSESSOR

KENNETH T. PALMER  
MAYOR

November 29, 2017

Genova Burns LLC  
Attn.: Kelly Brennan  
494 Broad St.  
Newark, NJ 07102

Dear Ms. Brennan:

The attached is a certified list of properties within 200 feet of:

Block 44 Lots 2,3,4,5 and 9

I hereby certify the attached information to be true and correct according to the records of the Manchester Township Tax Assessors' Office.

Martin W. Lynch  
Tax Assessor

**Please also notify:** Toms River Township  
33 Washington Street  
Toms River, NJ 08753  
732-341-1000

Utilities located in and around Manchester Township to be notified are as follows:

Comcast  
830 Route 37 West  
Toms River, NJ 08755

Verizon, Eng Dept  
PO Box 152206  
Irving, TX 75015

GPU  
400 Lincoln Street  
Phillipsburg, NJ 08865

Manchester Township  
Clerk's Office  
1 Colonial Drive  
Manchester, NJ 08759

NJ DEP  
CN 401  
Trenton, NJ 08625

NJ DOT  
Route 79 & Daniels Way  
Freehold, NJ 07728

NJ Natural Gas  
PO Box 1464  
Wall, NJ 07719

Ocean County MUA  
PO Box P  
Bayville, NJ 08721

Ocean County Road Dept  
119 Hooper Avenue  
Toms River, NJ 08753

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
40 1	1700/1750 HWY 37 CLUBHOUSE	1	HOVSONS INC/THE MANOR 1730 ROUTE 37 WEST TOMS RIVER NJ	08757
44 1	HWY 37	1	LUNNEY, COLLEEN 2 N BOOM WAY TUCKERTON NJ	08087
44 2	1701 HWY 37	1	JAYLIN HOLDINGS 1027 HOOPER AVE BUILD 1 TOMS RIVER NJ	08753
44 3	1721 HWY 37	1	JAYLIN HOLDINGS 1027 HOOPER AVE BUILD 1 TOMS RIVER NJ	08753
44 4	1741 HWY 37	4A	VARELLI JEAN EST/JOHN MAUDER 125 CHARLES BLVD MANAHAWKIN NJ	08050
44 5	1771 HWY 37	1	JAYLIN HOLDINGS 1027 HOOPER AVE 1 TOMS RIVER NJ	08753
44 6.01	1781 HWY 37	4A	KEYPORT REALTY LLC 401 E LINDEN AVE LINDEN NJ	07036
44 9	1801 HWY 37	1	JAYLIN HOLDINGS LLC 1027 HOOPER AVE BLDG 1 TOMS RIVER NJ	08753
44 10	1881 HWY 37	4A	PINE ACRES LLC 1881 HWY 37 TOMS RIVER NJ	08757
75.01 1	500 HWY 70 SEE QFARM	4B	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ	07753
75.01 1 QFARM	500 HWY 70	3B	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ	07753
75.01 2	CRR OF NJ	1	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ	07753
75.01 3	CRR OF NJ	1	GRUNIN, JAY & LINDA 1027 HOOPER AVE BLDG 1 TOMS RIVER NJ	08753
200 1	RAILROAD TRACKS L 2,BL 201 L1	15F	CONSOLIDATED RAIL CORP 6 PENN CENTER PLAZA PHILADELPHIA PA	19103



# MANCHESTER TOWNSHIP

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OFFICE OF THE TAX ASSESSOR

MARTIN LYNCH, CTA  
TAX ASSESSOR

KENNETH T. PALMER  
MAYOR

November 29, 2017

Genova Burns LLC  
Attn.: Kelly Brennan  
494 Broad St.  
Newark, NJ 07102

Dear Ms. Brennan:

The attached is a certified list of properties within 200 feet of:

Block 73 Lots 3 & 4

I hereby certify the attached information to be true and correct according to the records of the Manchester Township Tax Assessors' Office.

A handwritten signature in black ink, appearing to read "Martin W. Lynch".

Martin W. Lynch  
Tax Assessor

Utilities located in and around Manchester Township to be notified are as follows:

Comcast  
830 Route 37 West  
Toms River, NJ 08755

Verizon, Eng Dept  
PO Box 152206  
Irving, TX 75015

GPU  
400 Lincoln Street  
Phillipsburg, NJ 08865

Manchester Township  
Clerk's Office  
1 Colonial Drive  
Manchester, NJ 08759

NJ DEP  
CN 401  
Trenton, NJ 08625

NJ DOT  
Route 79 & Daniels Way  
Freehold, NJ 07728

NJ Natural Gas  
PO Box 1464  
Wall, NJ 07719

Ocean County MUA  
PO Box P  
Bayville, NJ 08721

Ocean County Road Dept  
119 Hooper Avenue  
Toms River, NJ 08753

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
73 1	201 HWY 70	1	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ 07753
73 2	101 HWY 70	1	FCM LAND MGMT INC 704-1 OLD SHORE RD FORKED RIVER NJ 08731
73 3	105 HWY 70 4	1	MANCHESTER FC COMPANY LLC 625 W RIDGE PIKE BA ST100 CONSHOHOCKEN PA 19428
73 5	41 BECKERVILLE RD	1	BRADEN, MICHAEL & CHERYL 520 GOLD ST TOMS RIVER NJ 08753



# MANCHESTER TOWNSHIP

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OFFICE OF THE TAX ASSESSOR

MARTIN LYNCH, CTA  
TAX ASSESSOR

KENNETH T. PALMER  
MAYOR

November 29, 2017

Genova Burns LLC  
Attn.: Kelly Brennan  
494 Broad St.  
Newark, NJ 07102

Dear Ms. Brennan:

The attached is a certified list of properties within 200 feet of:

Block 73 Lots 21

I hereby certify the attached information to be true and correct according to the records of the Manchester Township Tax Assessors' Office.

Martin W. Lynch  
Tax Assessor

Utilities located in and around Manchester Township to be notified are as follows:

Comcast  
830 Route 37 West  
Toms River, NJ 08755

Verizon, Eng Dept  
PO Box 152206  
Irving, TX 75015

GPU  
400 Lincoln Street  
Phillipsburg, NJ 08865

Manchester Township  
Clerk's Office  
1 Colonial Drive  
Manchester, NJ 08759

NJ DEP  
CN 401  
Trenton, NJ 08625

NJ DOT  
Route 79 & Daniels Way  
Freehold, NJ 07728

NJ Natural Gas  
PO Box 1464  
Wall, NJ 07719

Ocean County MUA  
PO Box P  
Bayville, NJ 08721

Ocean County Road Dept  
119 Hooper Avenue  
Toms River, NJ 08753

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
73 1	201 HWY 70	1	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ 07753
73 15	181 BECKERVILLE RD	2	STEVENSON, IRVING J & JOANNE 181 BECKERVILLE RD MANCHESTER NJ 08759
73 19	207 BECKERVILLE RD	2	SCHICK, KENNETH F 207 BECKERVILLE RD MANCHESTER NJ 08759
73 20	221 BECKERVILLE RD	1	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ 07753
73 21	BECKERVILLE RD	1	MANCHESTER FC COMPANY LLC 625 W RIDGE PIKE BA ST100 CONSHOHOCKEN PA 19428
73 22	241 BECKERVILLE RD	2	BIVINS, ALONZO 346 RIVER TERRACE TOMS RIVER NJ 08755
73 23	247 BECKERVILLE RD	1	SPARKS, DANNY & BARBARA 247 BECKERVILLE RD MANCHESTER NJ 08759
73 40	201 BECKERVILLE RD	2	STROUD, SHAWN 201 BECKERVILLE RD MANCHESTER NJ 08759



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OFFICE OF THE TAX ASSESSOR

MARTIN LYNCH, CTA  
TAX ASSESSOR

KENNETH T. PALMER  
MAYOR

November 29, 2017

Genova Burns LLC  
Attn.: Kelly Brennan  
494 Broad St.  
Newark, NJ 07102

Dear Ms. Brennan:

The attached is a certified list of properties within 200 feet of:

Block 73 Lots 31 & 32

I hereby certify the attached information to be true and correct according to the records of the Manchester Township Tax Assessors' Office.

A handwritten signature in cursive script, appearing to read "Martin W. Lynch".

Martin W. Lynch  
Tax Assessor

Utilities located in and around Manchester Township to be notified are as follows:

Comcast  
830 Route 37 West  
Toms River, NJ 08755

Verizon, Eng Dept  
PO Box 152206  
Irving, TX 75015

GPU  
400 Lincoln Street  
Phillipsburg, NJ 08865

Manchester Township  
Clerk's Office  
1 Colonial Drive  
Manchester, NJ 08759

NJ DEP  
CN 401  
Trenton, NJ 08625

NJ DOT  
Route 79 & Daniels Way  
Freehold, NJ 07728

NJ Natural Gas  
PO Box 1464  
Wall, NJ 07719

Ocean County MUA  
PO Box P  
Bayville, NJ 08721

Ocean County Road Dept  
119 Hooper Avenue  
Toms River, NJ 08753

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
73 1	201 HWY 70	1	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ 07753
73 27	ROCKHILLS BRANCH	15C	DEPT OF ENVIRONMENTAL PROTECTION PO BOX 412 TRENTON NJ 08625
73 31	CENTRAL AVE 33-39	1	MANCHESTER FC COMPANY LLC 625 W RIDGE PIKE BA ST100 CONSHOHOCKEN PA 19428
73 32	CENTRAL AVE	1	MANCHESTER FC COMPANY LLC 625 W RIDGE PIKE BA ST100 CONSHOHOCKEN PA 19428
78 1	501 HORICON AVE	15C	DEPT OF ENVIRONMENTAL PROTECTION PO BOX 412 TRENTON NJ 08625
78 2	301 CENTRAL AVE	15C	MANCHESTER TOWNSHIP 1 COLONIAL DR MANCHESTER NJ 08759
78 3	401 HORICON AVE 5-6	15C	DEPT OF ENVIRONMENTAL PROTECTION PO BOX 412 TRENTON NJ 08625
78 4	CENTRAL AVE	15C	MANCHESTER TOWNSHIP 1 COLONIAL DR MANCHESTER NJ 08759



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OFFICE OF THE TAX ASSESSOR

MARTIN LYNCH, CTA  
TAX ASSESSOR

KENNETH T. PALMER  
MAYOR

November 29, 2017

Genova Burns LLC  
Attn.: Kelly Brennan  
494 Broad St.  
Newark, NJ 07102

Dear Ms. Brennan:

The attached is a certified list of properties within 200 feet of:

Block 75.01 Lot 3

I hereby certify the attached information to be true and correct according to the records of the Manchester Township Tax Assessors' Office.

Martin W. Lynch  
Tax Assessor

Utilities located in and around Manchester Township to be notified are as follows:

Comcast  
830 Route 37 West  
Toms River, NJ 08755

Verizon, Eng Dept  
PO Box 152206  
Irving, TX 75015

GPU  
400 Lincoln Street  
Phillipsburg, NJ 08865

Manchester Township  
Clerk's Office  
1 Colonial Drive  
Manchester, NJ 08759

NJ DEP  
CN 401  
Trenton, NJ 08625

NJ DOT  
Route 79 & Daniels Way  
Freehold, NJ 07728

NJ Natural Gas  
PO Box 1464  
Wall, NJ 07719

Ocean County MUA  
PO Box P  
Bayville, NJ 08721

Ocean County Road Dept  
119 Hooper Avenue  
Toms River, NJ 08753

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
44 1	HWY 37	1	LUNNEY, COLLEEN 2 N BOOM WAY TUCKERTON NJ	08087
44 2	1701 HWY 37	1	JAYLIN HOLDINGS 1027 HOOPER AVE BUILD 1 TOMS RIVER NJ	08753
44 9	1801 HWY 37	1	JAYLIN HOLDINGS LLC 1027 HOOPER AVE BLDG 1 TOMS RIVER NJ	08753
75.01 1	500 HWY 70 SEE QFARM	4B	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ	07753
75.01 1 QFARM	500 HWY 70	3B	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ	07753
75.01 2	CRR OF NJ	1	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ	07753
75.01 3	CRR OF NJ	1	GRUNIN, JAY & LINDA 1027 HOOPER AVE BLDG 1 TOMS RIVER NJ	08753
200 1	RAILROAD TRACKS L 2, BL 201 L1	15F	CONSOLIDATED RAIL CORP 6 PENN CENTER PLAZA PHILADELPHIA PA	19103



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OFFICE OF THE TAX ASSESSOR

MARTIN LYNCH, CTA  
TAX ASSESSOR

KENNETH T. PALMER  
MAYOR

November 29, 2017

Genova Burns LLC  
Attn.: Kelly Brennan  
494 Broad St.  
Newark, NJ 07102

Dear Ms. Brennan:

The attached is a certified list of properties within 200 feet of:

Block 77 Lots 2, 4, 5 & 6

I hereby certify the attached information to be true and correct according to the records of the Manchester Township Tax Assessors' Office.

A handwritten signature in black ink, appearing to read "Martin W. Lynch".

Martin W. Lynch  
Tax Assessor

Utilities located in and around Manchester Township to be notified are as follows:

Comcast  
830 Route 37 West  
Toms River, NJ 08755

Verizon, Eng Dept  
PO Box 152206  
Irving, TX 75015

GPU  
400 Lincoln Street  
Phillipsburg, NJ 08865

Manchester Township  
Clerk's Office  
1 Colonial Drive  
Manchester, NJ 08759

NJ DEP  
CN 401  
Trenton, NJ 08625

NJ DOT  
Route 79 & Daniels Way  
Freehold, NJ 07728

NJ Natural Gas  
PO Box 1464  
Wall, NJ 07719

Ocean County MUA  
PO Box P  
Bayville, NJ 08721

Ocean County Road Dept  
119 Hooper Avenue  
Toms River, NJ 08753





# MANCHESTER TOWNSHIP

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OFFICE OF THE TAX ASSESSOR

MARTIN LYNCH, CTA  
TAX ASSESSOR

KENNETH T. PALMER  
MAYOR

November 29, 2017

Genova Burns LLC  
Attn.: Kelly Brennan  
494 Broad St.  
Newark, NJ 07102

Dear Ms. Brennan:

The attached is a certified list of properties within 200 feet of:

Block 77 Lot 27

I hereby certify the attached information to be true and correct according to the records of the Manchester Township Tax Assessors' Office.

A handwritten signature in cursive script, appearing to read "Martin W. Lynch".

Martin W. Lynch  
Tax Assessor

Utilities located in and around Manchester Township to be notified are as follows:

Comcast  
830 Route 37 West  
Toms River, NJ 08755

Verizon, Eng Dept  
PO Box 152206  
Irving, TX 75015

GPU  
400 Lincoln Street  
Phillipsburg, NJ 08865

Manchester Township  
Clerk's Office  
1 Colonial Drive  
Manchester, NJ 08759

NJ DEP  
CN 401  
Trenton, NJ 08625

NJ DOT  
Route 79 & Daniels Way  
Freehold, NJ 07728

NJ Natural Gas  
PO Box 1464  
Wall, NJ 07719

Ocean County MUA  
PO Box P  
Bayville, NJ 08721

Ocean County Road Dept  
119 Hooper Avenue  
Toms River, NJ 08753

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
77 1	501 HWY 70	1	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ 07753
77 19	600 BECKERVILLE RD	15C	DEPT OF ENVIRONMENTAL PROTECTION 401 E STATE ST TRENTON NJ 08625
77 20	499 HWY 70	2	PARK ROD & GUN CLUB/G HANCIKOVSKY 2 DARIEN CT HAMILTON NJ 08620
77 21	HURRICANE BR S TTL-91-0202/94-0148	1	FRANCIS, ELMIRA 184 HEARTHSTONE DR BERLIN NJ 08009
77 23	700 BECKERVILLE RD	1	HERITAGE MINERALS INC/HOVSONS INC 4000 RT 66 HOVCHILD PLAZA TINTON FALLS NJ 07753
77 27	750 BECKERVILLE RD	1	MANCHESTER FC COMPANY LLC 625 W RIDGE PIKE BA ST100 CONSHOHOCKEN PA 19428
79 1	699 HORICON AVE 4	15C	DEPT OF ENVIRONMENTAL PROTECTION PO BOX 412 TRENTON NJ 08625